



COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501
Phone: 218-846-7314 ~ Fax: 218-846-7266

PLANNING COMMISSION NOTICE OF PUBLIC HEARING

****HEARING DATE AND LOCATION****

April 12, 2016 @7:00 PM

3rd Floor Jury Assembly Room New Addition-Becker County Courthouse
Detroit Lakes, MN. 56502

APPLICANT:

Janaya and Jeff Davis
21696 County Hwy 29
Rochert, MN 56578

Project Location: 33637 State Hwy 34

APPLICATION AND DESCRIPTION OF PROJECT:

Request a Conditional Use Permit to operate a seasonal garden boutique with custom planting and flower maintenance. The request includes a zone change from Residential to Agricultural for the entire 2.85 acre parcel.

LEGAL LAND DESCRIPTION: 100366000

Erie Township
PT SW1/4 SE1/4 BEG 616.22' E OF SW COR TH N 429.93' TO HWY E AL HWY TO PT N OF BEG S
494.92' & W TO BEG, Section 23, TWP 139, Range 40

REFER TO BECKER COUNTY ZONING ORDINANCE

Replies/Comments: Interested parties are invited to submit to the Becker County Department of Planning, Zoning, and Land Use, written facts, arguments or objectives before the scheduled date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable. Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT

915 Lake Avenue
Detroit Lakes, MN. 56501

FAX Number: 218-846-7266
email: zoning@co.becker.mn.us

If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

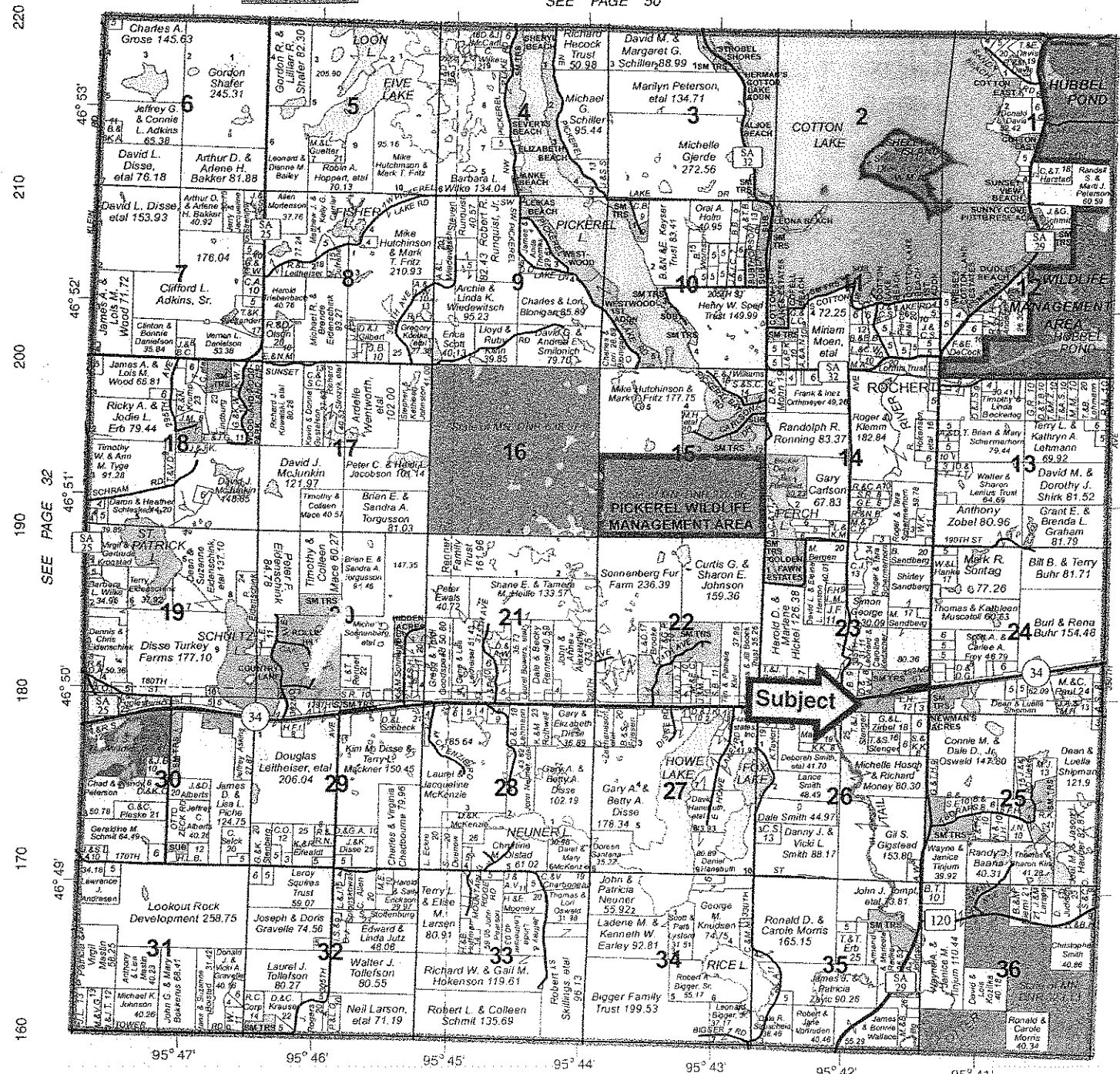
Regulatory Authority: This Application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a Permit will be based on an evaluation of the probable impact including cumulative impacts, of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors which may be relevant to the proposal will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, in General, the Needs and Welfare of the People.

**** Weather conditions may change the Hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations or contact the Zoning Office, by 4:30 pm, for possible rescheduling of the Hearing.**

ERIE

SEE PAGE 50

T.139N.-R.40W.



SEE PAGE 36

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SEE PAGE 18

Becker County, MN



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~ CONDITIONAL USE APPLICATION ~

BECKER COUNTY PLANNING & ZONING

915 LAKE AVENUE, DETROIT LAKES, MN 56501
PHONE (218) 846-7314 - FAX (218) 846-7266

PARCEL	
APP	CUP
YEAR	
SCANNED	

PROPERTY OWNER INFORMATION (as it appears on tax statement, purchase agreement or deed)

First name(s): Janya/Jeff Last name: Davis
Mailing Address: 21196 County Hwy 29 City, State, Zip Rochert, MN 56578
Phone Number(s): 218-841-2636 / 849-3439 Project Address: 33637 State Hwy 34 Detroit Lakes
Parcel number(s) of property: 100366000 Sect - Twp - Range: 23-139-040

Township Name: Erie Legal Description: Section 23 Township 139 Range 040
PT SW 1/4 SE 1/4 BEG 616 22' E OF SW COR TH N 429.93' TO HWY E AL HWY
TO PT N OF BEGS 494 92' & W TO BEG

REASON FOR CONDITIONAL USE REQUEST: Seasonal Garden Boutique

The information provided for this document is truthful and accurate to the best of my knowledge. I understand that this statement is null and void if any of the above information is not supplied or is inaccurate.

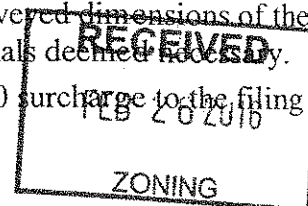
Janya Davis 2-25-16
SIGNATURE OF APPLICANT DATE

OTHER INFORMATION NEEDED TO COMPLETE THE APPLICATION:

1. A copy of the deed from the Recorder's Office;
2. Completed Site Application with sketch showing all setbacks, platted or surveyed dimensions of the lot and all existing and proposed buildings; parking area and all other materials deemed necessary.
3. Non-refundable filing fee of \$326.00. If in Cormorant Township add \$25.00 surcharge to the filing fee (\$351.00). **Make check payable to Becker County Zoning.**

4. Is the conditional use permit request after the fact? ☐ Yes ☒ No

If yes, after the fact application fee is an additional \$600.00.



Office Use Only

This application is hereby (accepted) or (rejected) as presented.

Sallene Hodgson 3/11/16
SIGNATURE - ZONING ADMINISTRATOR DATE
Zoning Technician

PARCEL	
APP	CUP
YEAR	

BUSINESS PLAN

Name of Business: Jay's Garden Boutique

Owners of Business: Janaya & Jeff Davis

Type of Business: Retail Sales ☒ Service ☒ Other

Type of Merchandise: Perennials, Annuals, Garden Decor

Type of Service: Custom Planting & Flower Maintenance Seasonally

Hours of Operation: Open Seasonally 10-6

Number of Employees: 2 - during very busy times extra pt timers - 5

Off - street Parking Plan: Very large area for parking across from garage.

Size of Structure to be used for Business: Office home - 1132 square feet upper level & Back yard ^{will use}

New Structure: none Existing Structure: Storage sheds & garage

Signage Plan: 35 square ft. sign / will check w/ MN DOT since it's a state hwy.

Exterior Lighting Plan: Lights on garage, front & back of office boutique

Environmental Hazards: None

Other Comments: Very Private lot surrounded by huge pine trees & other mature trees. It is 2.85 acres and close to other small businesses. Ex: Antique Shop, 4 corners gas station, 4 corners liquor store and the Tubing places.
plus All Wood finishes



SUBDIVISION / ZONE CHANGE
BECKER COUNTY
PLANNING & ZONING
915 LAKE AVENUE, DETROIT LAKES, MN 56501
PHONE (218) 846-7314 - FAX (218) 846-7266

PARCEL	
APP	ZONE / SURVEY
YEAR	
SCANNED	

Application for: ☒ Zone Change ☐ Certificate of Survey ☐ Preliminary Plat
(Complete Section 1) (Complete Section 2) (Complete Section 3)

Applicant's Name: Janaya & Jeff Davis

Applicant's Address: 21696 Cty Hwy 29
Rockert, MN 56578

Telephone(s): 218-841-2636 / 849-3439 Date of Application: 2-25-16

Signature of Applicant: Janaya Davis Jff Davis

Parcel ID Number: 100366000 Project Address: 33637 Hwy 34 Detroit LKS. MN
56501

Legal Description of Project: ~~Section 23~~ Section 23 Township 139 Range 040
PT SW 1/4 SE 1/4 BEG 116.22' E OF SW COR TH N 429.93' TO HWY E AL HWY
TO PT N OF BEG S 494.92' & W TO BEG

SECTION 1

*Zone Change For Existing Parcel Number 100366000
Current Zoning Residential Requested Zoning Agriculture

SECTION 2

*Certificate Of Survey: Number of Lots _____
Shoreland (within 1000 ft of lake) _____ Nonshoreland _____
Current Zoning of property _____
Is a change of zone required? _____ yes _____ no
If yes, change from _____ Zone to _____ Zone.
Total acreage of parcel to be subdivided _____
**Include a copy of the purchase agreement if applicant is not the owner of the property.

SECTION 3

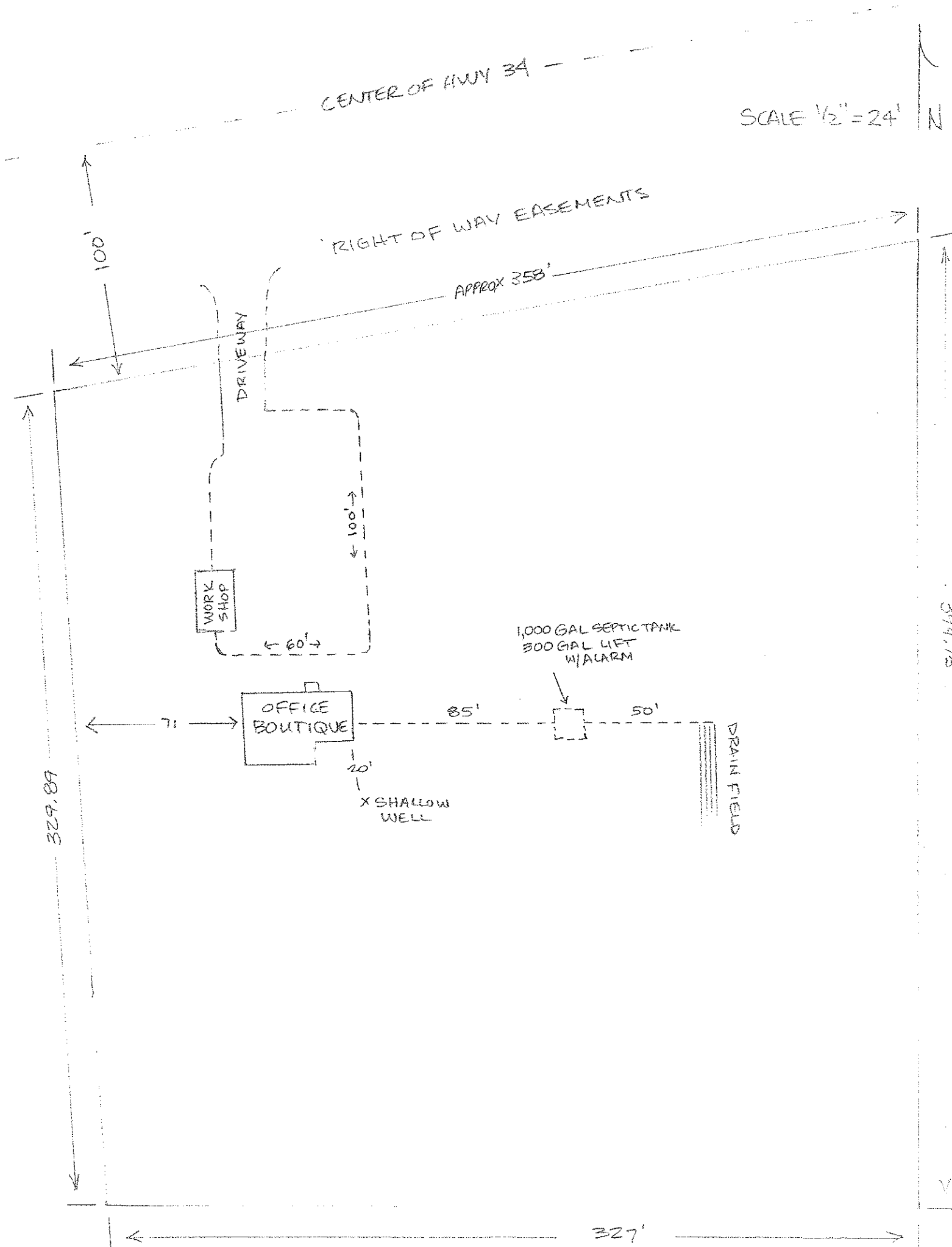
*For Preliminary Plat:
Number of Lots _____
Name of Subdivision _____
Name of Proposed Roads _____
Shoreland (within 1000 ft of lake) _____ Non-shoreland _____
Current Zoning of property _____
Is a change of zone required? _____ yes _____ no
If yes, change from _____ Zone to _____ Zone.
Total acreage of parcel to be subdivided _____
**Include a copy of the purchase agreement if applicant is not the property owner.

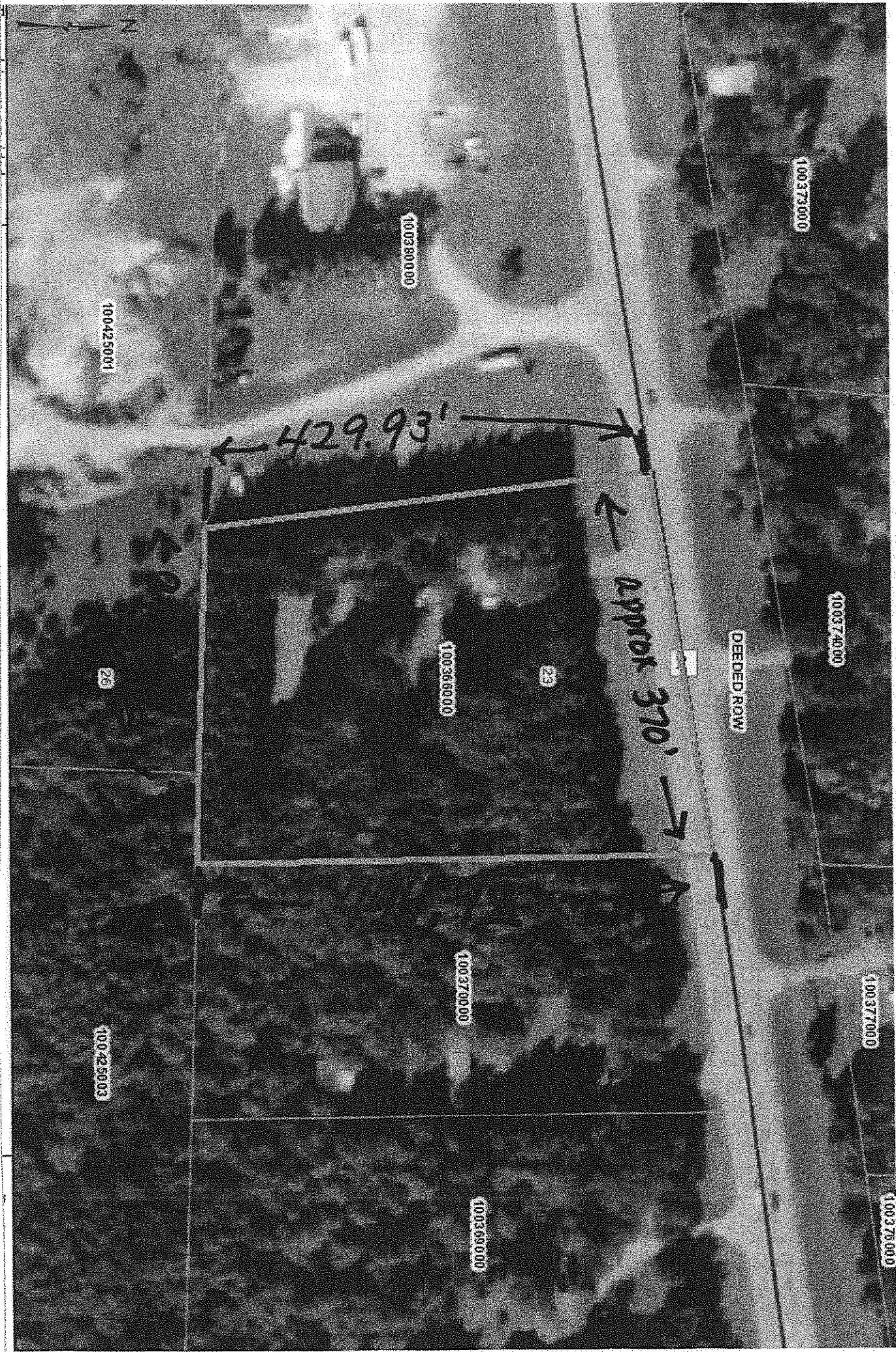
RECEIVED
FEB 26 2016
ZONING

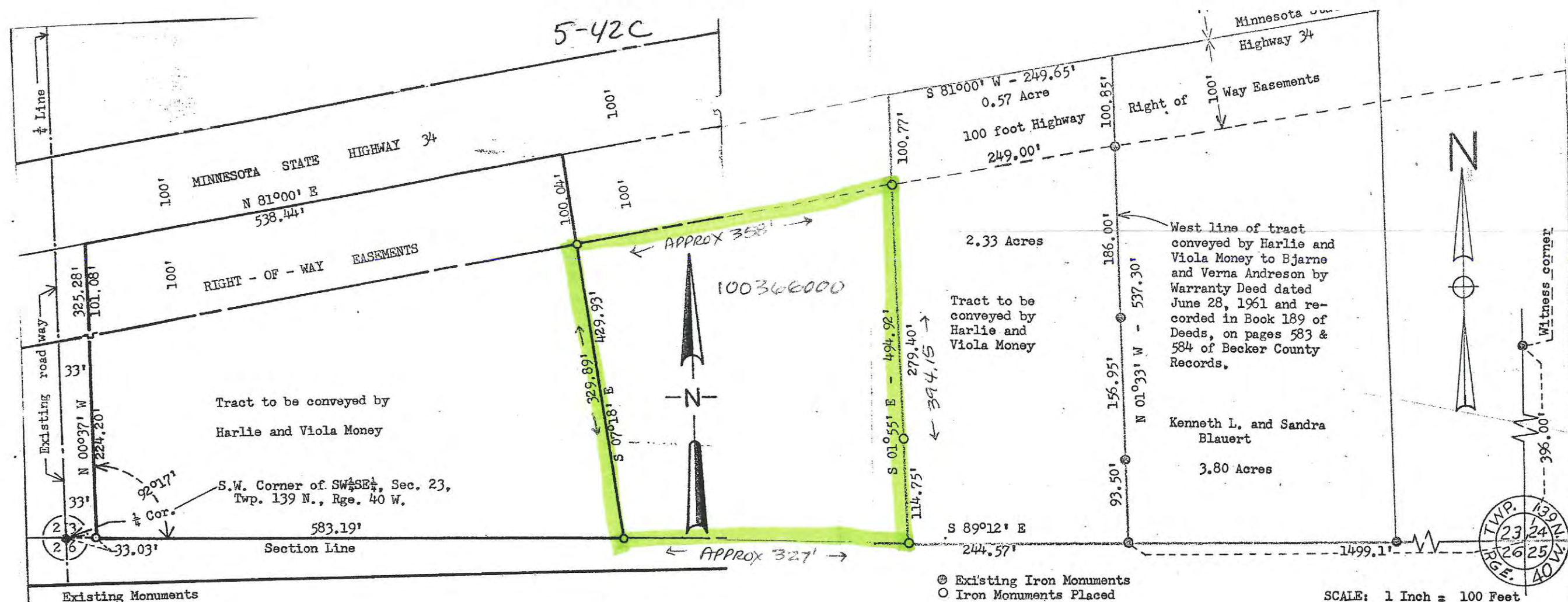
Date Received _____ Date Accepted _____ Authorized Signature _____
Application Fee _____ Notice Fee _____ Recording Fee _____
Date Paid _____ Receipt Number _____



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Geomapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community







Existing Monuments

- Iron Pipe
- Highway Right-of-Way Steel Post

Monuments Placed

- Iron Rods

DESCRIPTION

Of tract to be conveyed

A tract of land situated in the County of Becker, State of Minnesota, being the following described parcel located in the SW $\frac{1}{4}$ SE $\frac{1}{4}$ of Section 23, Township 139 North, Range 40 West of the Fifth Principal Meridian:

Commencing at the southwest corner of the SW $\frac{1}{4}$ SE $\frac{1}{4}$ of said Section 23, marked by an iron pipe monument, thence easterly along the south line of said SW $\frac{1}{4}$ SE $\frac{1}{4}$ 33.03 feet to the place of beginning; thence North 00 degrees 37 minutes West, parallel with and distant 33.00 feet easterly from the west line of said SW $\frac{1}{4}$ SE $\frac{1}{4}$, 325.28 feet to the centerline of Minnesota State Highway 34; thence North 81 degrees 00 minutes East, along said highway centerline, 538.44 feet; thence South 07 degrees 18 minutes E. 429.93 feet to the south line of said SW $\frac{1}{4}$ SE $\frac{1}{4}$; thence westerly along said south line 583.19 feet to the place of beginning.

The tract herein described contains 4.82 acres, more or less, including 1.25 acres over which a highway right-of-way easement exists to the State of Minnesota.

I hereby certify that I drafted this plat from an actual survey made by myself during the month of April, 1973.

Dated at Detroit Lakes, Minnesota, this 17th day of April, 1973.

Wesley W. Belling
Registered Land Surveyor
Minn. Reg. No. 3203

DESCRIPTION Of tract to be conveyed

A tract of land situated in the County of Becker, State of Minnesota, being the following described parcel located in the SW $\frac{1}{4}$ SE $\frac{1}{4}$ of Section 23, Township 139 North, Range 40 West of the Fifth Principal Meridian:

Beginning at a point on the south line of said section 23 which point is 1499.1 feet westerly from the southeast corner thereof, said point of beginning being the southwest corner of that certain tract of land conveyed by Harlie Money and Viola Money to Bjarne Andreson and Verna Andreson by Warranty Deed dated June 28, 1961 and recorded in Book 189 of Deeds, on pages 583 and 584 of the Becker County records; thence North 01°33' West, 537.30 feet to the centerline of Minnesota State Highway 34; thence South 81°00' West, along said highway centerline, 249.65 feet; thence South 01°55' East, 494.92 feet to the south line of said section 23; thence South 89°12' East, along said south line 244.57 feet to the place of beginning.

The tract herein described contains 2.90 acres, more or less, including that portion thereof over which a highway right-of-way easement exists to the State of Minnesota.

I hereby certify that I drafted this plat from an actual survey made by myself during the month of May, 1972.

Dated at Detroit Lakes, Minnesota this 18th day of May, 1972.

Wesley W. Belling
Registered Land Surveyor
Minn. Reg. No. 3203



COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314 ~ Fax: 218-846-7266

PLANNING COMMISSION NOTICE OF PUBLIC HEARING

****HEARING DATE AND LOCATION****

April 12, 2016 @7:00 PM

3rd Floor Jury Assembly Room New Addition-Becker County Courthouse

Detroit Lakes, MN. 56502

APPLICANT:

Mark LaBarre

PO Box 62

Willmar, MN 56201

Project Location: 44319 SW Juggler Rd

APPLICATION AND DESCRIPTION OF PROJECT:

Request a Certificate of Survey for two tracts of land with Tract A consisting of 5.6 acres +/- and Tract B consisting of 47,900 sq ft +/- . The request includes a zone Change from Agricultural to Residential for both Tracts.

LEGAL LAND DESCRIPTION: 250245000

Round Lake

Juggler Lake

PT GOVT LOT 4: BEG 660.23' E OF NW SEC COR TH S 346.31' TO POB, TH E 493.96' TO POINT F & CTR PUB RD, CONT E 336.20' TO WATERS EDGE JUGGLER LK, NLY AL LK 113.50', NELY 167', TH NWLY 88' TO MNDR COR #1, TH W 470.87' TO POINT C &, Section 14, TWP 142, Range 38

REFER TO BECKER COUNTY ZONING ORDINANCE

Replies/Comments: Interested parties are invited to submit to the Becker County Department of Planning, Zoning, and Land Use, written facts, arguments or objectives before the scheduled date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable. Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT

915 Lake Avenue

Detroit Lakes, MN. 56501

FAX Number: 218-846-7266

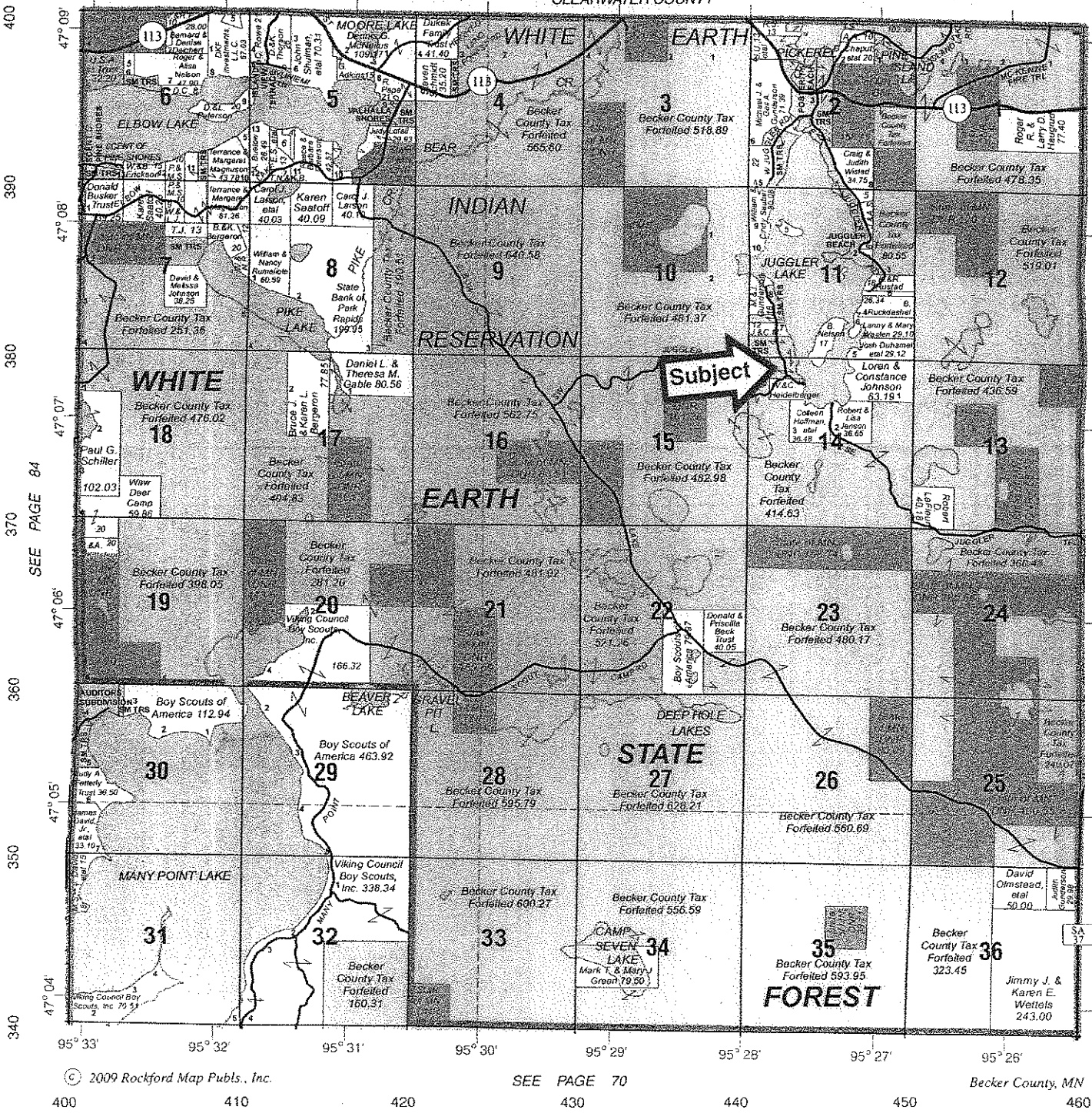
email: zoning@co.becker.mn.us

If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

Regulatory Authority: This Application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a Permit will be based on an evaluation of the probable impact including cumulative impacts, of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors which may be relevant to the proposal will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, in General, the Needs and Welfare of the People.

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SUBDIVISION / ZONE CHANGE
BECKER COUNTY
PLANNING & ZONING
915 LAKE AVENUE, DETROIT LAKES, MN 56501
PHONE (218) 846-7314 - FAX (218) 846-7266

PARCEL	
APP	ZONE / SURVEY
YEAR	
SCANNED	

Application for: ☒ Zone Change ☒ Certificate of Survey ☐ Preliminary Plat
(Complete Section 1) (Complete Section 2) (Complete Section 3)

Applicant's Name: Mark LaBarre

Applicant's Address: PO Box 62
Willmar, MN 56201

Telephone(s): 320-235-8941 Date of Application: 3-4-16

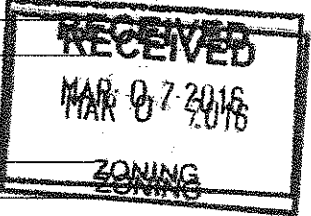
Signature of Applicant: [Signature] (MEADOWLAND SURVEYING, INC.)

Parcel ID Number: 25.0245.000 Project Address: 44319 SW Juggler Rd
Wauburn, MN 56589

Legal Description of Project:
14-142-38 - See attached dwd.

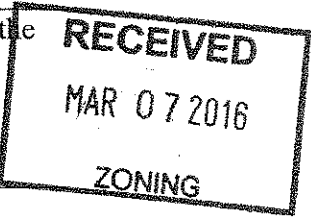
SECTION 1

*Zone Change For Existing Parcel Number 25.0245.000
Current Zoning AG Requested Zoning RCS



SECTION 2

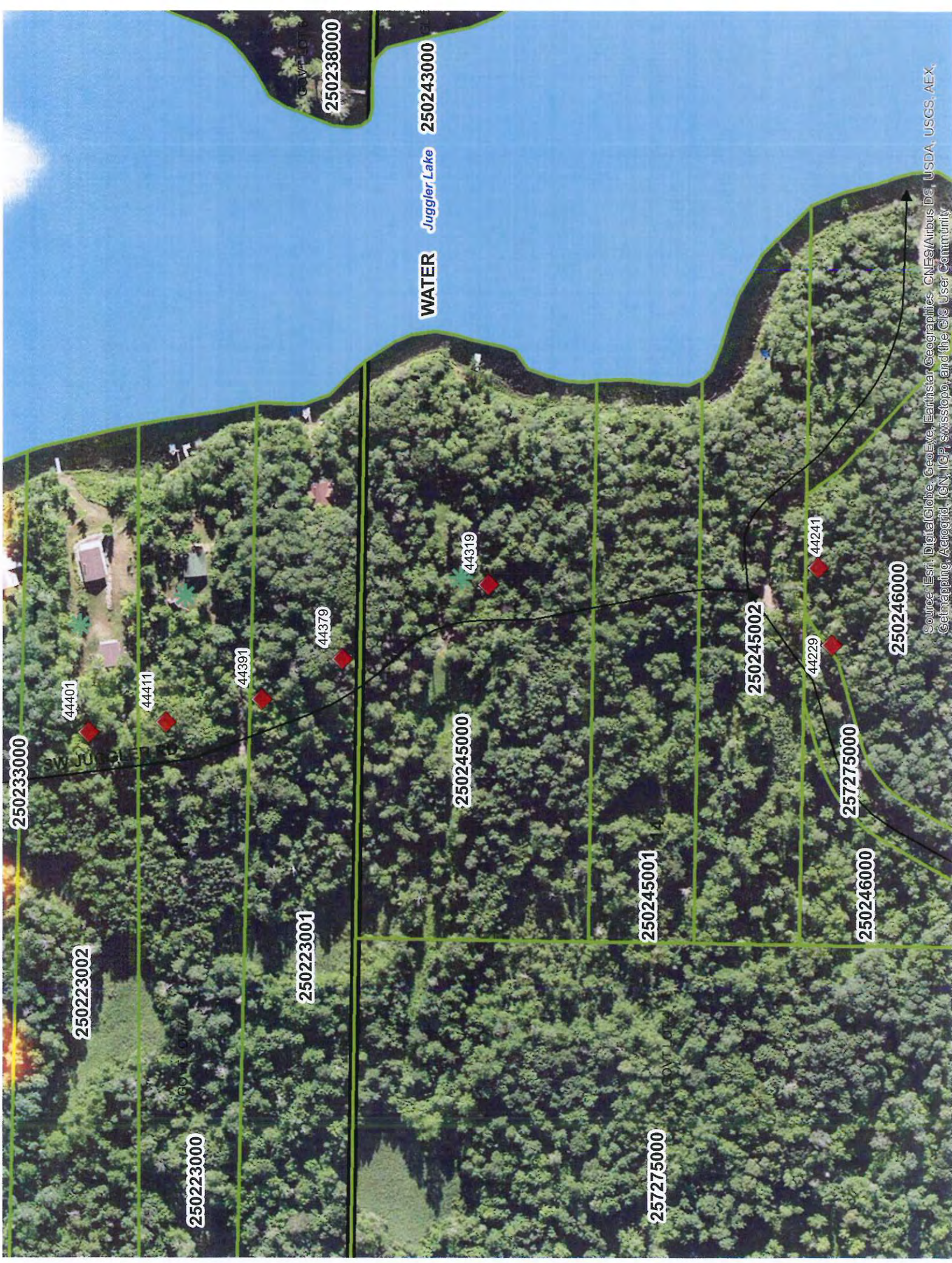
*Certificate Of Survey: Number of Lots 2
Shoreland (within 1000 ft of lake) yes Nonshoreland no
Current Zoning of property Agricultural
Is a change of zone required? ☒ yes ☐ no
If yes, change from AG Zone to RCS Zone.
Total acreage of parcel to be subdivided 6.8
**Include a copy of the purchase agreement if applicant is not the owner of the property.



SECTION 3

*For Preliminary Plat:
Number of Lots _____
Name of Subdivision _____
Name of Proposed Roads _____
Shoreland (within 1000 ft of lake) _____ Non-shoreland _____
Current Zoning of property _____
Is a change of zone required? _____ yes _____ no
If yes, change from _____ Zone to _____ Zone.
Total acreage of parcel to be subdivided _____
**Include a copy of the purchase agreement if applicant is not the property owner.

Date Received 3-7-16 Date Accepted 3/11/16 Authorized Signature [Signature]
Application Fee _____ Notice Fee _____ Recording Fee _____
Date Paid _____ Receipt Number _____





1118 Hwy 59 South, Detroit Lakes, Minnesota 56501
(office) 218-847-4289 (fax) 218-846-1945
www.meadowlandsurveying.com

Mark LaBarre – Tract B – 47,900 square feet, more or less, tract on Juggler Lake

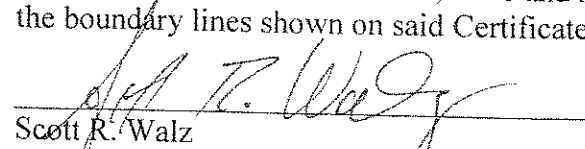
Land description:

That part of Government Lot 4 of Section 14, Township 142 North, Range 38 West of the Fifth Principal Meridian in Becker County, Minnesota described as follows:

Commencing at a found iron monument which designates the northwest corner of said Section 14; thence North 89 degrees 28 minutes 19 seconds East 660.23 feet on an assumed bearing along the north line of said Section 14 to an iron monument at the northeasterly corner of the west 20.00 acres of said Government Lot 4; thence South 00 degrees 36 minutes 21 seconds East 136.70 feet along the east line of said west 20.00 acres to an iron monument; thence continuing South 00 degrees 36 minutes 21 seconds East 209.61 along the east line of said west 20.00 acres to an iron monument; thence North 89 degrees 29 minutes 30 seconds East 493.96 feet to the centerline of an existing road as described in a Judgment recorded as Document No. 402889 on file and of record in the office of the Recorder in said County, said point is the point of beginning; thence North 12 degrees 05 minutes 11 seconds West 90.12 feet along said road centerline; thence North 02 degrees 45 minutes 29 seconds West 57.09 feet continuing along said road centerline; thence North 88 degrees 37 minutes 15 seconds East 16.50 feet to an iron monument; thence continuing North 88 degrees 37 minutes 15 seconds East 290.97 feet to an iron monument; thence continuing North 88 degrees 37 minutes 15 seconds East 39 feet, more or less to the water's edge of Juggler Lake; thence southerly along the water's edge of said Juggler Lake to the intersection with a line which bears North 89 degrees 29 minutes 30 seconds East from the point of beginning, thence South 89 degrees 29 minutes 30 seconds West 39 feet, more or less, to a found iron monument; thence continuing South 89 degrees 29 minutes 30 seconds West 255.57 feet to a found iron monument; thence continuing South 89 degrees 29 minutes 30 seconds West 16.84 feet to the point of beginning. The above described tract contains 47,900 square feet, more or less.

SUBJECT TO AND TOGETHER WITH a 33.00 foot wide easement for road purposes over, under and across part of the above tract and part of said Government Lot 4 as described in said Document No. 402889.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota and that the above legal description was prepared from information on Certificate of Survey T8935-15 dated March 1, 2016 and said legal description is legally sufficient to locate the boundary lines shown on said Certificate of Survey.


Scott R. Walz

Minnesota Licensed Land Surveyor No. 50320



1118 Hwy 59 South, Detroit Lakes, Minnesota 56501
(office) 218-847-4289 (fax) 218-846-1945
www.meadowlandsurveying.com

Mark LaBarre – Tract A - 5.6 acre, more or less, cabin tract on Juggler Lake

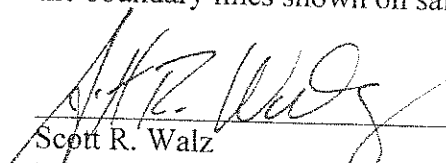
Land description:

That part of Government Lot 4 of Section 14, Township 142 North, Range 38 West of the Fifth Principal Meridian in Becker County, Minnesota described as follows:

Commencing at a found iron monument which designates the northwest corner of said Section 14; thence North 89 degrees 28 minutes 19 seconds East 660.23 feet on an assumed bearing along the north line of said Section 14 to an iron monument at the northeasterly corner of the west 20.00 acres of said Government Lot 4, said point is the point of beginning; thence South 00 degrees 36 minutes 21 seconds East 136.70 feet along the east line of said west 20.00 acres to an iron monument; thence continuing South 00 degrees 36 minutes 21 seconds East 209.61 feet along the east line of said west 20.00 acres to an iron monument; thence North 89 degrees 29 minutes 30 seconds East 493.96 feet to the centerline of an existing road as described in a Judgment recorded as Document No. 402889, on file and of record in the office of the Recorder in said County; thence North 12 degrees 05 minutes 11 seconds West 90.12 feet along said road centerline; thence North 02 degrees 45 minutes 29 seconds West 57.09 feet continuing along said road centerline; thence North 88 degrees 37 minutes 15 seconds East 16.50 feet to an iron monument; thence continuing North 88 degrees 37 minutes 15 seconds East 290.97 feet to an iron monument; thence continuing North 88 degrees 37 minutes 15 seconds East 39 feet, more or less to the water's edge of Juggler Lake; thence northerly along the water's edge of said Juggler Lake to the north line of said Section 14; thence South 89 degrees 28 minutes 19 seconds West 2 feet, more or less, along the north line of said Section 14 to a found cast iron monument which designates Meander Corner No. 1; thence continuing South 89 degrees 28 minutes 19 seconds West 841.55 feet along the north line of said Section 14 to the point of beginning. The above described tract contains 5.6 acres, more or less.

SUBJECT TO AND TOGETHER WITH a 33.00 foot wide easement for road purposes over, under and across part of the above tract and part of said Government Lot 4 as described in said Document No. 402889.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota and that the above legal description was prepared from information on Certificate of Survey T8935-15 dated March 1, 2016, and said legal description is legally sufficient to locate the boundary lines shown on said Certificate of Survey.



Scott R. Walz
Minnesota Licensed Land Surveyor No. 50320

431078

QUIT CLAIM DEED

Form No. 29-M

Individual(s) to Joint Tenants

No delinquent taxes and transfer entered;
 Certificate of Real Estate Value () filed
 () not required

Certificate of Real Estate Value No. _____

July 7, 1997Keith A. Brekken

County Auditor

By DCW R 25.0245.000

Deputy

STATE DEED TAX HEREON: \$ 1.65Date: July 1, 1997

(reserved for recording data)

FOR VALUABLE CONSIDERATION, Mark J. LaBarre and Barbara LaBarre, husband and wife, Grantors,

(marital status)

hereby convey and quitclaim to Mark J. LaBarre and Barbara LaBarre, Grantees, as joint tenants, real property in Becker County, Minnesota, described as follows:

The North Half of Lot 4, Section 14, Township 142 North, Range 38 West excepting therefrom a one-half acre for road, and the West 10 acres of said tract which has now been redescribed by boundary line agreement as:

That part of Government Lot 4 of Section 14, Township 142 North, Range 38 West of the Fifth Principal Meridian in Becker County, Minnesota, described as follows:

Commencing at a found iron monument which designates the northwest corner of said Section 14; thence North 89 degrees 28 minutes 19 seconds East 660.23 feet on an assumed bearing along the north line of said Section 14 to an iron monument at the northeasterly corner of the west 20.00 acres of said Government Lot 4, said point is the point of beginning; thence South 00 degrees 36 minutes 21 seconds East 136.70 feet parallel with the west line of said Section 14 and along the east line of said west 20.00 acres to an iron monument; thence continuing South 00 degrees 36 minutes 21 seconds East 317.93 feet parallel with the west line of said Section 14 and along the east line of said west 20.00 acres to an iron monument; thence continuing South 00 degrees 36 minutes 21 seconds East 205.62 feet parallel with the west line of said Section 14 and along the east line of said west 20.00 acres to an iron monument; thence North 89 degrees 30 minutes 40 seconds East

Charge

Paid ☒

Nur.

Trac. ☒

Grantor

BECKER COUNTY RECORDER STATE OF MN

Document No. 431078Date JUL 9 1997 9 00 a.m.

I hereby certify that the within instrument was recorded in the office of Becker County Recorder.

mtm MartinsonCounty Recorder Deputy

366.34 feet to an iron monument; thence continuing North 89 degrees 30 minutes 40 seconds East 43.38 feet to the centerline of an existing public road, said point hereinafter referred to as Point A; thence continuing North 89 degrees 30 minutes 40 seconds East 143.13 feet to an iron monument; thence continuing North 89 degrees 30 minutes 40 seconds East 156.02 feet to the centerline of said existing public road, said point hereinafter referred to as Point B; thence continuing North 89 degrees 30 minutes 40 seconds East 13.83 feet to an iron monument; thence continuing North 89 degrees 30 minutes 40 seconds East 291.91 feet to an iron monument; thence continuing North 89 degrees 30 minutes 40 seconds East 59.04 feet to an iron monument; thence continuing North 89 degrees 30 minutes 40 seconds East 20 feet, more or less, to the water's edge of Juggler Lake; thence northerly along the water's edge of said Juggler Lake to the north line of said Section 14; thence South 89 degrees 45 minutes 50 seconds West 12 feet, more or less, along the north line of said Section 14 to a found cast iron monument which designates Meander Corner No. 1; thence South 89 degrees 28 minutes 19 seconds West 326.65 feet continuing along the north line of said Section 14 to an iron monument; thence continuing South 89 degrees 28 minutes 19 seconds West 114.85 feet along the north line of said Section 14 to an iron monument; thence continuing South 89 degrees 28 minutes 19 seconds West 29.37 feet along the north line of said Section 14 to the centerline of an existing 33.00 foot wide road easement, said point hereinafter referred to as Point C; thence continuing South 89 degrees 28 minutes 19 seconds West 370.68 feet along the north line of said Section 14 to the point of beginning. The above described tract contains 13.3 acres, more or less.

Subject to a 66.00 foot wide easement for public road purposes over under, and across part of the above described tract. The centerline of said 66.00 foot wide public road easement is described as follows:

Beginning at the afore mentioned Point A; thence North 52 degrees 37 minutes 48 seconds East 139.83 feet, said point hereinafter referred to as Point D; thence North 83 degrees 20 minutes 34 seconds East 59.48 feet; thence easterly on a curve concave to the South, having a central angle of 54 degrees 27 minutes 50 seconds and a radius of 85.00 feet, for a distance of 80.80 feet (chord bearing South 69 degrees 25 minutes 31 seconds East); thence South 42 degrees 11 minutes 36 seconds East 83.52 feet to the afore mentioned Point B and said centerline there terminates. The sidelines of said 66.00 foot wide public road easement shall be prolonged or shortened to terminate on the southerly line of the above described tract.

And further subject to a 33.00 foot wide easement for road purposes over, under, and across part of the above described tract. The centerline of said 33.00 foot wide road easement is described as follows:

Beginning at the afore mentioned Point C; thence southeasterly on

a curve concave to the northeast, having a central angle of 11 degrees 24 minutes 39 seconds and a radius of 355.00 feet, for a distance of 70.70 feet (chord bearing South 41 degrees 28 minutes 08 seconds East) to a point of reverse curvature; thence southeasterly on a curve concave to the southwest, having a central angle of 44 degrees 24 minutes 59 seconds and a radius of 180.00 feet, for a distance of 139.54 feet (chord bearing South 24 degrees 57 minutes 59 seconds East); thence South 02 degrees 45 minutes 29 seconds East 81.05 feet; thence South 12 degrees 05 minutes 11 seconds East 205.45 feet; thence southerly on a curve concave to the west, having a central angle of 18 degrees 14 minutes 40 seconds and a radius of 370.00 feet, for a distance of 117.82 feet (chord bearing South 02 degrees 57 minutes 51 seconds East) to the afore mentioned Point D and said 33.00 foot wide road easement centerline there terminates. The sidelines of said 33.00 foot wide road easement shall be prolonged or shortened to terminate on the northerly boundary of the above described tract and on the centerline of said existing public road.

together with all hereditaments and appurtenances belonging thereto.

RECEIPT # 115013
BECKER COUNTY
DEED TAX
AMT. PD. \$ 1.65
AFFIX DEED TAX STAMP HERE
NITA A. THOMPSON, CO. TREAS.

JUL 08 1997

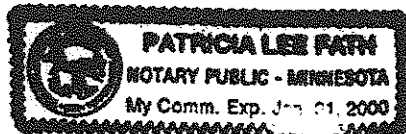
Mark J. LaBarre
Mark J. LaBarre

Barbara LaBarre
Barbara LaBarre

STATE OF MINNESOTA)
COUNTY OF Kendall) ss.

The foregoing instrument was acknowledged before me this 1 day of July, 1997, by Mark J. LaBarre and Barbara LaBarre, husband and wife, Grantors.

Notarial Stamp or Seal
(or other title or rank)



Patricia Lee Fath 1/31/2000

THIS INSTRUMENT WAS DRAFTED BY:

James D. Sinclair
SINCLAIR, EVANS,
HUNT & HEISLER, P.A.
910 Lincoln Avenue
P.O. Box 743
Detroit Lakes, MN 56501
JDS:Jody

Patricia Lee Fath

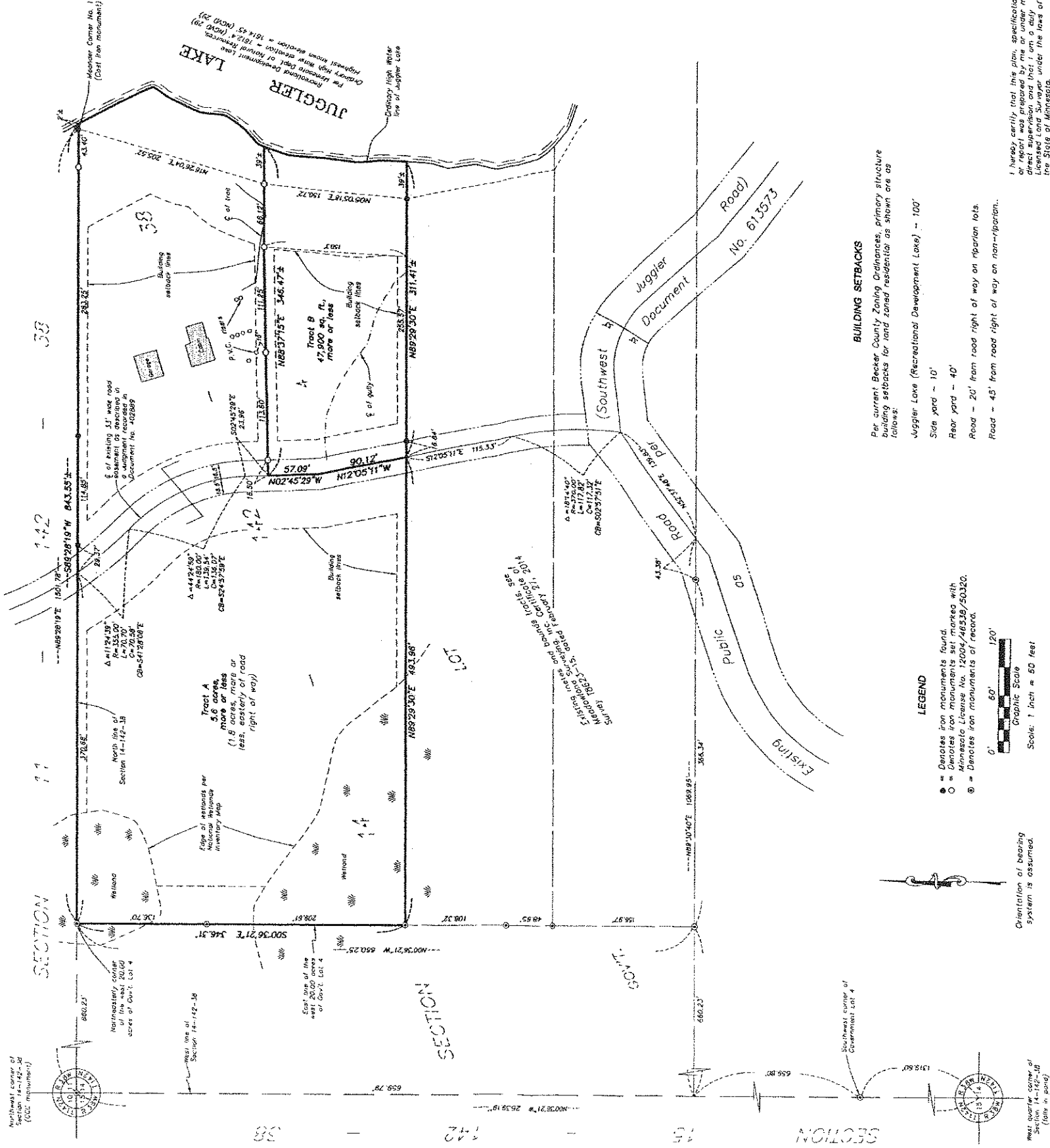
Signature of person taking acknowledgment
Tax Statements for the real property
described in this instrument should be
sent to (Include name and address of
Grantee):

Mark J. LaBarre & Barbara LaBarre
P.O. Box 62
Willmar, MN 56201

THAT THE TOTAL CONSIDERATION FOR THIS TRANSACTION IS \$500.00 OR LESS.

CERTIFICATE OF SURVEY

IN GOVERNMENT LOT 4
SECTION 14-142-38
BECKER COUNTY, MINNESOTA

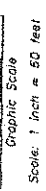


BUILDING SETBACKS
Per current Becker County Zoning Ordinance, primary structure building setbacks for land zoned residential as shown are as follows:

- Juggler Lake (Recreational Development Lake) - 100'
- Side yard - 10'
- Rear yard - 40'
- Road - 20' from road right of way on riparian lots
- Road - 45' from road right of way on non-riparian.

LEGEND

- = Denotes iron monuments found.
- = Denotes iron monuments set marked with Minnesota License No. 12004/46536/50320.
- ⊙ = Denotes iron monuments of record.



Orientation of bearing system is assumed.

Northwest corner of Section 14-142-38 (Iron monument)

MEADOWLAND SURVEYING, INC.
1718 HWY 59 SOUTH, DETROIT LAKES, MN 56301
OFFICE: 218-847-4269 FAX: 218-846-1945
EMAIL: fronthead@meadowlandsurveying.com
www.meadowlandsurveying.com

CLIENT:
MARK LUBARE
P.O. BOX 62
MELMARE, MN 55301

COMP FILE:	MEADOWLAND
CAD FILE:	MEADOWLAND
DWG FILE:	ULBARE.DWG
COMP BY:	JLO
DRAWN BY:	JLO

I hereby certify that this plan, specification, and description of the land shown hereon, was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date

Signature

Date

License #

DRAWING NUMBER: T8935-15



COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314 ~ Fax: 218-846-7266

PLANNING COMMISSION NOTICE OF PUBLIC HEARING

****HEARING DATE AND LOCATION****

April 12, 2016 @7:00 PM

3rd Floor Jury Assembly Room New Addition-Becker County Courthouse
Detroit Lakes, MN. 56502

APPLICANT:

Island Lake Irrevocable Trust
Ralph Blomquist on behalf of Ron McMartin
PO Box 10
Hallock, MN 56728

Project Location: 41106 Co Rd 126

APPLICATION AND DESCRIPTION OF PROJECT:

Request a Certificate of Survey for two tracts of land with Tract A consisting of 2.3 acres +/- and Tract B consisting of 16.5 acres +/- with a remnant tract of 29.2 acres +/- . The request includes a zone change from Agricultural to Residential on all three tracts.

LEGAL LAND DESCRIPTION: 280197000 and 280212000 Shell Lake Township Island Lake
Pt of Govt Lot 4 and pt of Govt Lot 5., Section 30, TWP 140, Range 38

REFER TO BECKER COUNTY ZONING ORDINANCE

Replies/Comments: Interested parties are invited to submit to the Becker County Department of Planning, Zoning, and Land Use, written facts, arguments or objectives before the scheduled date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable. Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT

915 Lake Avenue
Detroit Lakes, MN. 56501

FAX Number: 218-846-7266
email: zoning@co.becker.mn.us

If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

Regulatory Authority: This Application will be reviewed according to the provisions of the Becker County Zoning Ordinance.

The decision whether to issue a Permit will be based on an evaluation of the probable impact including cumulative impacts, of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors which may be relevant to the proposal will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, in General, the Needs and Welfare of the People.

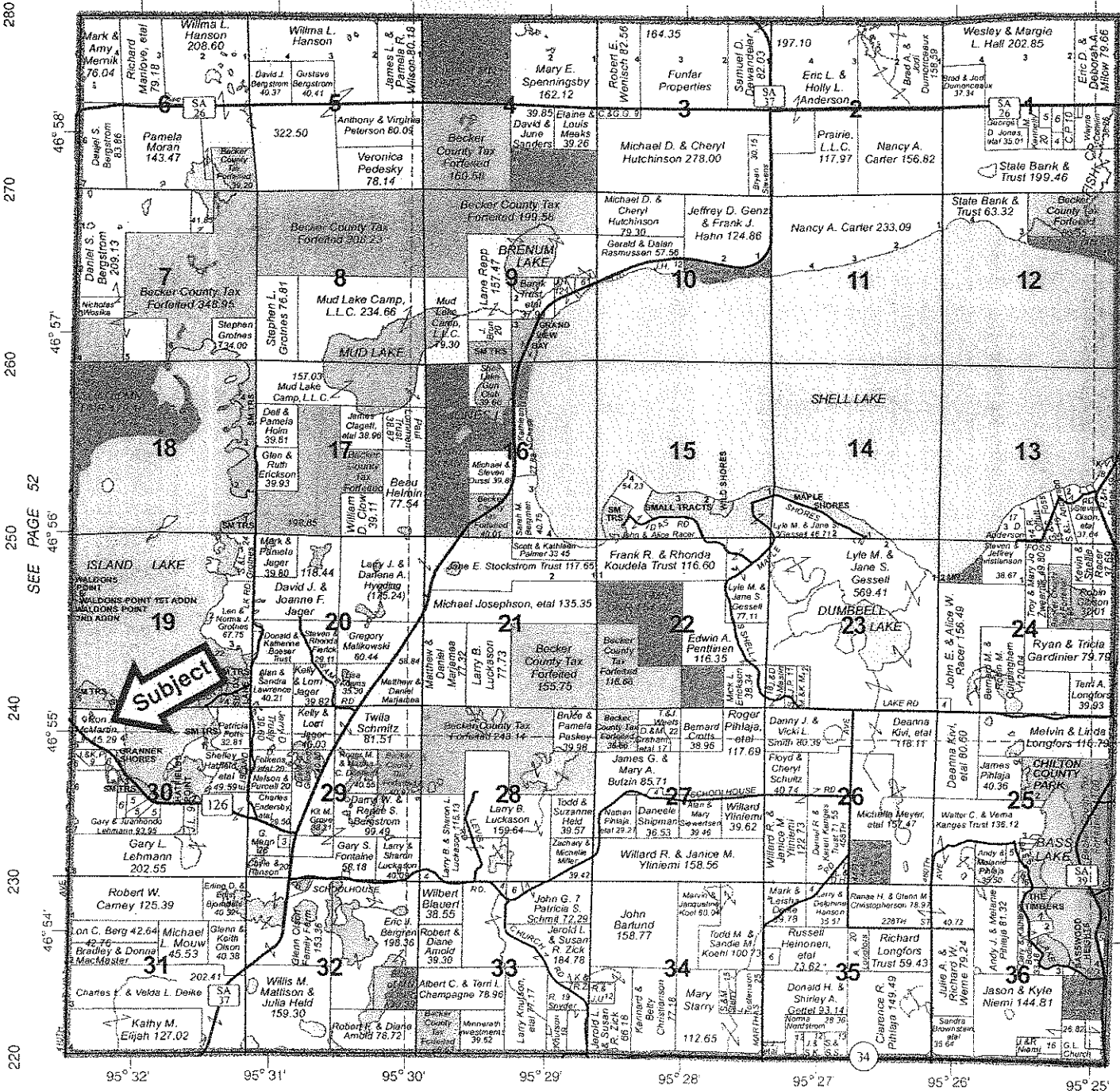
**** Weather conditions may change the Hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations or contact the Zoning Office, by 4:30 pm, for possible rescheduling of the Hearing.**

SHELL LAKE

T.140N.-R.38W.

SEE PAGE 70

SEE PAGE 72



SEE PAGE 56



SUBDIVISION / ZONE CHANGE
BECKER COUNTY
PLANNING & ZONING
915 LAKE AVENUE, DETROIT LAKES, MN 56501
PHONE (218) 846-7314 - FAX (218) 846-7266

PARCEL	
APP	ZONE / SURVEY
YEAR	
SCANNED	

Application for: X Zone Change X Certificate of Survey _____ Preliminary Plat
(Complete Section 1) (Complete Section 2) (Complete Section 3)

Applicant's Name: Paul Blomquist, Island Lake Irrevocable Trust

Applicant's Address: PO Box 10
Hallbrook, MN 56728

Telephone(s): 218-998-2658 Date of Application: 3-2-16

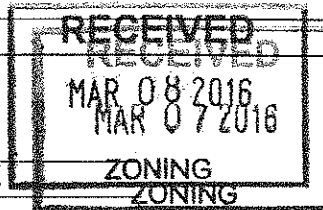
Signature of Applicant: A.H. Wray (McDOWLAND SURVEYING, INC.)

Parcel ID Number: 28.0197.000 Project Address: 41106 Co Rd 126

Legal Description of Project: 28.0212.000
See attached

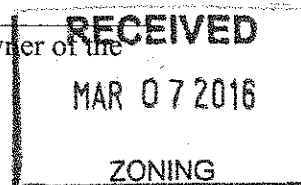
SECTION 1

*Zone Change For Existing Parcel Number 28.0197.000
Current Zoning AG Requested Zoning RES



SECTION 2

*Certificate Of Survey: Number of Lots 2
Shoreland (within 1000 ft of lake) X Nonshoreland _____
Current Zoning of property Agricultural
Is a change of zone required? X yes _____ no _____
If yes, change from AG Zone to RES Zone.
Total acreage of parcel to be subdivided 48
**Include a copy of the purchase agreement if applicant is not the owner of the property.



SECTION 3

*For Preliminary Plat:
Number of Lots _____
Name of Subdivision _____
Name of Proposed Roads _____
Shoreland (within 1000 ft of lake) _____ Non-shoreland _____
Current Zoning of property _____
Is a change of zone required? _____ yes _____ no _____
If yes, change from _____ Zone to _____ Zone.
Total acreage of parcel to be subdivided _____
**Include a copy of the purchase agreement if applicant is not the property owner.

Date Received 3-2-16 Date Accepted 3/11/16 Authorized Signature Julene Hedger
Application Fee _____ Notice Fee _____ Recording Fee _____
Date Paid _____ Receipt Number _____

623376

CERTIFICATE OF REAL ESTATE VALUE FILED # 011542

No delinquent taxes and transfer entered
this 24th day of March 2015

Mary E. Hendrickson
Becker County Auditor/Treasurer

By JS Deputy

28-0212-000 + 0197

BECKER COUNTY RECORDER
STATE OF MINNESOTA

Document No. 623376

March 24, 2015 at 1:36 PM

I hereby certify that the within
instrument was recorded in this office.

Patricia Swenson, County Recorder
By SKS Deputy

ECRV: 325 773

Corporation to Trustee

Minnesota

QUIT CLAIM DEED

(shall convey after-acquired title)

This Indenture effective the 13th day of March, 2015, from Grantor to Grantee:

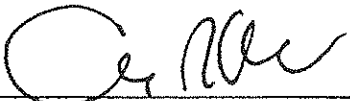
1. **Definitions.** For the purpose of this Indenture:
 - a. "Grantor" shall mean McM, Inc., a corporation organized under the laws of the State of North Dakota, whose mailing address is 14854 82nd Street NE, St. Thomas, North Dakota 58276-9547.
 - b. "Grantee" shall mean Paul D. Blomquist, as Trustee of the Island Lake Irrevocable Trust, whose mailing address is P.O. Box 10, Hallock, Minnesota 56728.
 - c. "Indenture" shall mean this quit claim deed between Grantor and Grantee.
 - d. "Property" shall mean the following described real estate, together with all improvements, hereditaments and appurtenances, in the County of Becker, in the State of Minnesota:

Government Lot Four (4) or Fractional Northeast Quarter of the Northwest Quarter (Frac'l NE $\frac{1}{4}$ NW $\frac{1}{4}$) and Government Lot Five (5) or the Fractional Northwest Quarter of the Northwest Quarter (Frac'l NW $\frac{1}{4}$ NW $\frac{1}{4}$) of Section Thirty (30), in Township One Hundred Forty (140) North of Range Thirty-eight (38) West of the Fifth Principal Meridian.

BECKER COUNTY DEED TAX
AMT. PD. \$ 4174.50
5842110

chg
paid
well





Notary Public

THIS INSTRUMENT WAS DRAFTED BY:

To: Corey R. Elmer
Vogel Law Firm
215 30th Street North
PO Box 1077
Moorhead, MN 56561-1077
Telephone: 218.236.6462
Our File: 038195.13010
1968451.1

REAL ESTATE TAX STATEMENTS:

Island Lake Irrevocable Trust
Paul D. Blomquist, Trustee
P.O. Box 10
Hallock, MN 56728



COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501
Phone: 218-846-7314 ~ Fax: 218-846-7266

Authorized Agent Form

1. Form must be legible and completed in ink.
2. Check appropriate box(es). Write any specific restrictions on the checked item in the space provided (e.g. "garage site permit" or "valid only on permit applications submitted between 06/01/20XX and 08/01/20XX"). If you want your agent to represent you on a conditional use or variance application and also be authorized to obtain the related permit(s), be sure to check and complete the "permit application" item as well. If an item's box is checked and the accompanying space is left blank, the authorization granted on that item is valid for a period of one year from the date of signature on this form until Becker County Planning and Zoning receives signed, written notification from the property owner(s) stating otherwise or the property's ownership changes.

I (we), Island Lake Irrigable Trust
Paul Blomquist, Trustee hereby authorize Scott W. E. (MEADOWLAND)
(landowner-print name) (agent-print name) to act
as my (our) agent on the following item(s): appropriate box(es)

permit application (write in permit "type" - e.g. site, septic, etc.): _____

☐ plat application: _____

☐ conditional use application: _____

☐ variance application: _____

☒ other: CERTIFICATE OF SURVEY & ZONE CHANGE

on my (our) property located at:
Tax Parcel Number(s): 28.0197.000 Physical Site Address: 41106 Co Rd 126

Legal Description: Attached to application

Section: 30 Township: 140 Range: 38 Lot: _____ Block: _____ Plat Name: _____

Agent Contact Information

Agent address: 1118 Hwy 59 Detroit Lakes, MN 56501
Street City State Zip Code

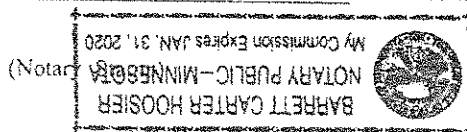
Agent phone #(s): 218-847-4289 Agent fax #: _____

Agent email address: swatz@meadowlandsurveying.com

Paul Blomquist _____ 3.10.16
Property Owner(s) Signature(s) Date

State of Minnesota
County of Becker

On this 10 day of March before me personally appeared Paul Blomquist to me
known to be the person(s) described in and who executed the foregoing instrument; and acknowledged that
executed the same as _____ free act and deed.



[Signature]
Notary Public

Office Use Only:

Date received: _____ Expiration Date: 1-31-2020



1118 Hwy 59 South, Detroit Lakes, Minnesota 56501
(office) 218-847-4289 (fax) 218-846-1945
www.meadowlandsurveying.com

Ron McMartin – Tract A – 2.3 acre, more or less, existing cabins tract

Land description:

That part of Government Lots 4 and 5 of Section 30, Township 140 North, Range 38 West of the Fifth Principal Meridian in Becker County, Minnesota, described as follows:

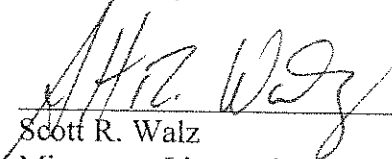
Commencing at an iron monument which designates the northwest corner of said Section 30; thence North 89 degrees 37 minutes 42 seconds East 1102.02 feet on an assumed bearing along the north line of said Section 30 to an iron monument, said point is the point of beginning; thence South 00 degrees 42 minutes 07 seconds East 247.61 feet to an iron monument; thence North 89 degrees 37 minutes 42 seconds East 297.08 feet to a point hereinafter referred to as Point A; thence continuing North 89 degrees 37 minutes 42 seconds East 132.47 feet to an iron monument; thence continuing North 89 degrees 37 minutes 42 seconds East 11 feet, more or less, to the water's edge of Island Lake; thence northwesterly along the water's edge of said Island Lake to the north line of said Section 30; thence South 89 degrees 37 minutes 42 seconds West 29.88 feet, more or less, along the north line of said Section 30 to an iron monument; thence continuing South 89 degrees 37 minutes 42 seconds West 279.44 feet along the north line of said Section 30 to the point of beginning. The above described tract contains 2.3 acres, more or less.

TOGETHER WITH a 66.00 foot wide easement for driveway purposes over, under and across part of said Government Lot 5. The southeasterly sideline of said 66.00 foot wide driveway easement is described as follows:

Beginning at the aforementioned Point A; thence South 17 degrees 57 minutes 27 seconds West 36.38 feet; thence South 36 degrees 19 minutes 29 seconds West 99.35 feet; thence South 47 degrees 56 minutes 26 seconds West 72.01 feet; thence South 52 degrees 42 minutes 48 seconds West 47.86 feet; thence southwesterly on a curve concave to the northwest, having a central angle of 28 degrees 07 minutes 31 seconds and a radius of 143.00 feet, for a distance of 70.20 feet (chord bearing South 66 degrees 46 minutes 34 seconds West) to an iron monument; thence westerly on a curve concave to the north, having a central angle of 18 degrees 08 minutes 37 seconds and a radius of 143.00 feet, for a distance of 45.28 feet (chord bearing South 89 degrees 54 minutes 36 seconds West); thence North 81 degrees 01 minute 06 seconds West 54.65 feet; thence westerly on a curve concave to the south, having a central angle of 49 degrees 47 minutes 13 seconds and a radius of 77.00 feet, for a distance of 66.91 feet (chord bearing South 74 degrees 05 minutes 17 seconds West); thence South 49 degrees 11 minutes 41 seconds West 106.34 feet; thence southwesterly on a curve concave to the northwest, having a central angle of 27 degrees 16 minutes 42 seconds and a radius of 358.00 feet, for a distance of 170.44 feet (chord bearing South 62 degrees 50 minutes 02 seconds West); thence southwesterly on a curve concave to the southeast, having a central angle of 23 degrees 39 minutes 14 seconds and a radius of 201.00 feet, for a distance of 82.98 feet (chord bearing South 64 degrees 38 minutes 46 seconds West); thence South 52 degrees 49 minutes 09 seconds West 112.59 feet; thence southwesterly on a curve concave to the southeast, having a central angle of 24 degrees

09 minutes 13 seconds and a radius of 252.00 feet, for distance of 106.23 feet (chord bearing South 40 degrees 44 minutes 33 seconds West); thence South 28 degrees 39 minutes 56 seconds West 30.06 feet; thence southwesterly on a curve concave to the northwest, having a central angle of 17 degrees 21 minutes 42 seconds and a radius of 420.00 feet, for a distance of 127.27 feet (chord bearing South 37 degrees 20 minutes 47 seconds West) to the centerline of County Road No. 126 and said southeasterly sideline there terminates. The northwesterly sideline of said 66.00 foot wide driveway easement shall be prolonged or shortened to terminate on the southerly line of the above tract and on the centerline of said County Road No. 126.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota and that the above legal description was prepared from information on Certificate of Survey T8975-15 dated March 7, 2016, and said legal description is legally sufficient to locate the boundary lines shown on said Certificate of Survey.



Scott R. Walz

Minnesota Licensed Land Surveyor No. 50320



1118 Hwy 59 South, Detroit Lakes, Minnesota 56501
(office) 218-847-4289 (fax) 218-846-1945
www.meadowlandsurveying.com

Ron McMartin – Tract B – 16.5 acre, more or less, tract on Island Lake

Land description:

That part of Government Lots 4 and 5 of Section 30, Township 140 North, Range 38 West of the Fifth Principal Meridian in Becker County, Minnesota, described as follows:

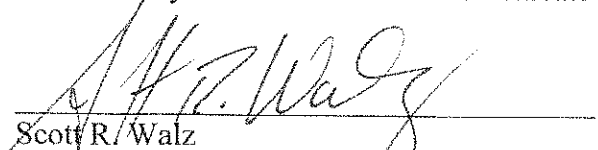
Commencing at an iron monument which designates the northwest corner of said Section 30; thence North 89 degrees 37 minutes 42 seconds East 1102.02 feet on an assumed bearing along the north line of said Section 30 to an iron monument; thence South 00 degrees 42 minutes 07 seconds East 247.61 feet to an iron monument; thence North 89 degrees 37 minutes 42 seconds East 429.55 feet to an iron monument; thence South 10 degrees 43 minutes 25 seconds East 335.03 feet to an iron monument, said point is the point of beginning; thence South 86 degrees 53 minutes 39 seconds West 254.58 feet to an iron monument; thence North 53 degrees 30 minutes 44 seconds West 206.56 feet to an iron monument, said point is hereinafter referred to as Point B; thence westerly on a curve concave to the north, having a central angle of 18 degrees 08 minutes 37 seconds and a radius of 143.00 feet, for a distance of 45.28 feet (chord bearing South 89 degrees 54 minutes 36 seconds West); thence North 81 degrees 01 minute 06 seconds West 54.65 feet; thence westerly on a curve concave to the south, having a central angle of 49 degrees 47 minutes 13 seconds and a radius of 77.00 feet, for a distance of 66.91 feet (chord bearing South 74 degrees 05 minutes 17 seconds West); thence South 49 degrees 11 minutes 41 seconds West 106.34 feet; thence southwesterly on a curve concave to the northwest, having a central angle of 27 degrees 16 minutes 42 seconds and a radius of 358.00 feet, for a distance of 170.44 feet (chord bearing South 62 degrees 50 minutes 02 seconds West); thence southwesterly on a curve concave to the southeast, having a central angle of 23 degrees 39 minutes 14 seconds and a radius of 201.00 feet, for a distance of 82.98 feet (chord bearing South 64 degrees 38 minutes 46 seconds West); thence South 52 degrees 49 minutes 09 seconds West 112.59 feet; thence southwesterly on a curve concave to the southeast, having a central angle of 24 degrees 09 minutes 13 seconds and a radius of 252.00 feet, for a distance of 106.23 feet (chord bearing South 40 degrees 44 minutes 33 seconds West); thence South 28 degrees 39 minutes 56 seconds West 30.06 feet; thence southwesterly on a curve concave to the northwest, having a central angle of 17 degrees 21 minutes 42 seconds and a radius of 420.00 feet, for a distance of 127.27 feet (chord bearing South 37 degrees 20 minutes 47 seconds West) to the centerline of County Road No. 126; thence southeasterly along the centerline of said County Road No. 126 on a curve concave to the northeast, having a central angle of 14 degrees 46 minutes 24 seconds and a radius of 1500.00 feet, for a distance of 386.76 feet (chord bearing South 55 degrees 58 minutes 01 second East); thence South 63 degrees 21 minutes 13 seconds East 269.73 feet continuing along the centerline of said County Road No. 126; thence southeasterly continuing along the centerline of said County Road No. 126 on a curve concave to the southwest, having a central angle of 04 degrees 28 minutes 07 seconds and a radius of 935.00 feet, for a distance of 72.92 feet (chord bearing South 61 degrees 07 minutes 09 seconds East) to the south line of said Government Lot 5; thence North 89 degrees 02 minutes 55 seconds East 180.29 feet along the south line of said Government Lot 5 to an iron monument; thence continuing North 89 degrees 02 minutes 55 seconds East 165.44 feet along the south line of said

Government Lot 5 to an iron monument at the southeast corner of said Government Lot 5; thence continuing North 89 degrees 02 minutes 55 seconds East 68.08 feet along the south line of said Government Lot 4 to an iron monument; thence continuing North 89 degrees 02 minutes 55 seconds East 138.11 feet, more or less, along the south line of said Government Lot 4 to the water's edge of Island Lake; thence northerly along the water's edge of said Island Lake to the intersection with a line which bears North 86 degrees 53 minutes 39 seconds East from the point of beginning; thence South 86 degrees 53 minutes 39 seconds West 18 feet, more or less, to the point of beginning. The above described tract contains 16.5 acres, more or less.

SUBJECT TO an easement for public road purposes for said County Road No. 126 over, under and across that part of the above tract which lies within 33.00 feet of the centerline of said County Road No. 126.

TOGETHER WITH a 66.00 foot wide easement for driveway purposes over, under and across that part of said Government Lot 5 which lies 66.00 feet northwesterly of the northwesterly line of the above tract. The northwesterly sideline of said 66.00 foot wide driveway easement is measured at a right angle to and is parallel with the northwesterly line of the above tract and said 66.00 foot wide easement shall terminate on the centerline of said County Road No. 126 and on a line which bears North 53 degrees 30 minutes 44 seconds West from said Point B.

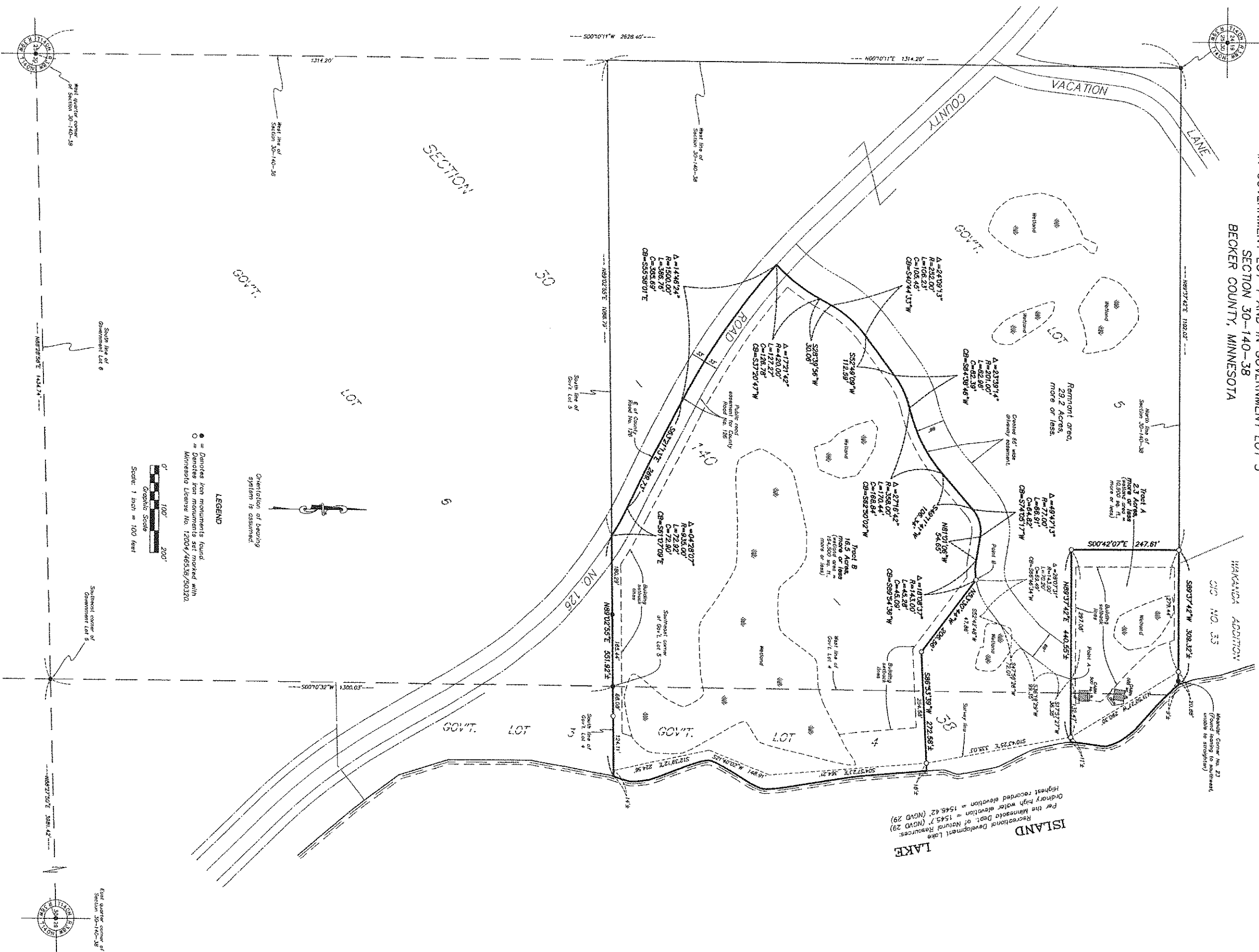
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota and that the above legal description was prepared from information on Certificate of Survey T8975-15 dated March 7, 2016, and said legal description is legally sufficient to locate the boundary lines shown on said Certificate of Survey.



Scott R. Walz

Minnesota Licensed Land Surveyor No. 50320

CERTIFICATE OF SURVEY
IN GOVERNMENT LOT 4 AND IN GOVERNMENT LOT 5
SECTION 30-140-38
BECKER COUNTY, MINNESOTA



BUILDING SETBACKS TRACT A
Per current Becker County Zoning Ordinance, primary structure building setbacks for land zoned agricultural as shown are as follows:
Island Lake (Recreational Development Lake) - 100'
Side yard - 10'
Rear yard - 40'

BUILDING SETBACKS TRACT B
Per current Becker County Zoning Ordinance, primary structure building setbacks for land zoned agricultural as shown are as follows:
Island Lake (Recreational Development Lake) - 100'
Side yard - 20'
Rear yard - 40'
County Road No. 126 - 53' from E

County Road No. 126 - 53' from E

MEADOWLAND SURVEYING, INC.
1118 HWY 59 SOUTH, DETROIT LAKES, MN 56501
OFFICE: 218-847-4289 FAX: 218-846-1945
EMAIL: fronides@meadowlandsurveying.com
www.meadowlandsurveying.com

CLIENT:	
Ron McKerlin 1301 South 38th Street Grand Forks, ND 58201	
COMP FILE:	30memorials(ccoors)
CRD FILE:	30memorials(ccoors)
DWG FILE:	30memorials_ccoors.dwg
COMP BY:	JFP
DRAWN BY:	JSL

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Surveyor: Walter J. Zelle
Print Name: Walter J. Zelle
Date: March 7, 2016
License #: 503702

DRAWING NUMBER: **T8975-15**



COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314 ~ Fax: 218-846-7266

PLANNING COMMISSION NOTICE OF PUBLIC HEARING

****RENOTIFICATION- This was a previously table application from March 7th, 2016.**

****HEARING DATE AND LOCATION****

April 12, 2016 @7:00 PM

3rd Floor Jury Assembly Room New Addition-Becker County Courthouse
Detroit Lakes, MN. 56502

APPLICANT:

Verizon Wireless
On behalf of Cory and Katie Jendro
132 S Delphia Ave
Park Ridge, IL 60068

Project Location: 48004 St Hwy 113

APPLICATION AND DESCRIPTION OF PROJECT:

Request a Conditional Use Permit for a 310' communication tower to include fence, equipment platform with cabinets, transformer and equipment for essential services.

LEGAL LAND DESCRIPTION: 120040001 Forest Township Pt SE 1/2 NE 1/4 N of Hwy 113, Section 05, TWP 142, Range 37

REFER TO BECKER COUNTY ZONING ORDINANCE

Replies/Comments: Interested parties are invited to submit to the Becker County Department of Planning, Zoning, and Land Use, written facts, arguments or objectives before the scheduled date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable. Replies may be addressed to:

PLANNING AND ZONING DEPARTMENT

915 Lake Avenue
Detroit Lakes, MN. 56501

FAX Number: 218-846-7266
email: zoning@co.becker.mn.us

If you have questions about the Project, feel free to call 218-846-7314.

Jurisdiction: This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

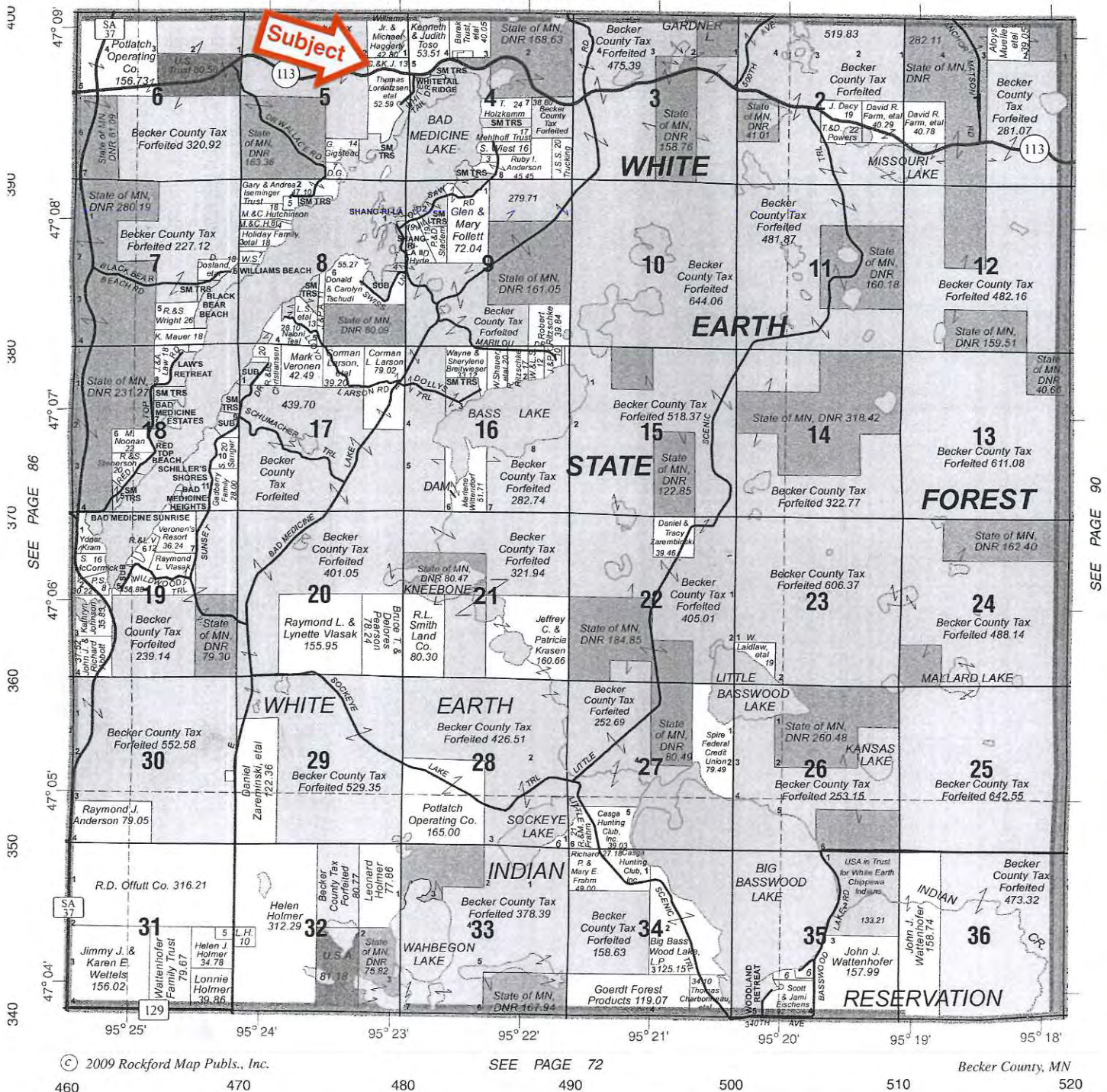
Regulatory Authority: This Application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a Permit will be based on an evaluation of the probable impact including cumulative impacts, of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors which may be relevant to the proposal will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, in General, the Needs and Welfare of the People.

**** Weather conditions may change the Hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations or contact the Zoning Office, by 4:30 pm, for possible rescheduling of the Hearing.**

FOREST

T.142N.-R.37W.

CLEARWATER COUNTY



David M. Schiller
Broker / Associate

counselor
DetroitLakes.com

Office: 218-847-5025
Fax: 218-844-5558
Cell: 218-849-5478
Home: 218-847-5223
Email: dschiller@arvig.net
421 Main St. W • P.O. Box 375
Detroit Lakes, MN 56502
www.daveschiller.com

counselor
realty.com **MLS**

P.O. Box 375
Detroit Lakes, MN 56501
Phone: 218.844.5557
Fax: 218.844.5558
Cell: 218.234.9734
MikeRing@arvig.net
CounselorDetroitLakes.com

Mike Ring
ABR, CRS, GRI, Broker



~ CONDITIONAL USE APPLICATION ~

BECKER COUNTY PLANNING & ZONING

915 LAKE AVENUE, DETROIT LAKES, MN 56501
PHONE (218) 846-7314 - FAX (218) 846-7266

PARCEL	
APP	CUP
YEAR	
SCANNED	

PROPERTY OWNER INFORMATION (as it appears on tax statement, purchase agreement or deed)

First name(s): Cory D. & Katie M. Last name: Jendro
Mailing Address: 25780 18th St. W. City, State, Zip Zimmerman, MN 55398
Phone Number(s): _____ Project Address: 48004 St Hwy 113
Ponsford, MN 56575
Parcel number(s) of property: 120040001 Sect - Twp - Range: 05-142-037
Township Name: Forest Legal Description: Please see attached

REASON FOR CONDITIONAL USE REQUEST: Construction of a 300'
communications tower, with a 10' lightning rod (overall height 310')
and related Verizon Wireless antennas and equipment.

The information provided for this document is truthful and accurate to the best of my knowledge. I understand that this statement is null and void if any of the above information is not supplied or is inaccurate.

Alex K. Novak
SIGNATURE OF APPLICANT
Alexander K. Novak

1/27/16
DATE

OTHER INFORMATION NEEDED TO COMPLETE THE APPLICATION:

1. A copy of the deed from the Recorder's Office;
2. Completed Site Application with sketch showing all setbacks, platted or surveyed dimensions of the lot and all existing and proposed buildings; parking area and all other materials deemed necessary.
3. **Non-refundable filing fee of \$326.00.** If in Cormorant Township add \$25.00 surcharge to the filing fee (\$351.00). **Make check payable to Becker County Zoning.**
4. **Is the conditional use permit request after the fact?** ☐ Yes ☒ No
If yes, after the fact application fee is an additional \$600.00.

Office Use Only * JH (Siteapp) 2/8/16 - last piece
This application is hereby (accepted) or (rejected) as presented.

SIGNATURE - ZONING ADMINISTRATOR

DATE



Application for Site Permit
Becker County Planning and Zoning
915 Lake Ave, Detroit Lakes, MN 56501
Phone: 218-846-7314 Fax: 218-846-7266
www.co.becker.mn.us

PARCEL	
APP	SITE
YEAR	
SCANNED	

Property will be staked by _____
Date: _____

Please Print or Type All Information

Parcel Number (s)	Property (E911) Address	*911 Address Needed	Legal Description
120040001	48004 ST HWY 113 PONSFORD MN	56575	See Attached Drawings

Lake/River Name	Lake/River Class	Township Name	Section	TWP No.	Range
		Forest	05	142	037

Property Owner	Last Name	First Name	Mailing Address	Phone
Lessee:	SBA Communications Corp		8051 Congress Ave Boca Raton, FL 33487	
Contractor Name Lic #	To Be Bid			

Proposed Project (Check those that apply)

☐ New Dwelling	☐ Addition to Dwelling	☐ Replacement Dwelling*	☐ Mobile/Manfac. Home
☐ Attached Garage	☐ Detached Garage	☐ Storage Structure	☐ Addition to Non-dwelling
☐ Stairway	☐ Deck	☐ Recreational Unit	☐ Water Oriented Structure
☐ Fence	☒ Other <u>Cell Tower</u>	☐ Non Conforming Replacement (identify) _____	

*Existing Dwelling to be removed prior to _____

Onsite Water Supply () Deep Well () Shallow Well Well Depth _____
MN Rules Chapter 4725 (MN well code) requires a 3' minimum structure setback to well

N/A

Onsite Sewage Treatment System

Type of System N/A Date of Installation _____ Last Date Certified _____
Must have current certificate of compliance on septic system prior to issuance of a permit

Lot Information Shoreland () Riparian (☒) Non Riparian Non Shoreland ☒

Lot Area 566,280 sq ft or 13 acres Water Frontage -0- ft Bluff () Yes (☒) No
Impervious coverage refers to anything water cannot pass through. Structures, areas covered by a roof, concrete, asphalt, Class 5, sidewalks, patio pavers, etc. should all be included in this calculation. Decks should be included in this calculation if they have plastic underlayment or impervious surface underneath. Anytime you exceed 15% lot coverage a stormwater management plan and/or mitigation is required. **INCLUDE PROPOSED STRUCTURES IN CALCULATION.**

Please Note: Unless otherwise provided, a minimum of a 12 foot wide driveway from the nearest road right of way to the proposed structure must be included in both your plan and impervious surface calculation.

Impervious Surface	Dimensions	Sq. Footage	Impervious Surface	Dimensions	Sq. Footage
On property			On property		

Ex: Patio 10 x 12 120

DRIVEWAY

Tower Foundation 8x8 (3) 192

Platform Foundation 2x2 (6) 24

Total Impervious Material 216

Impervious Lot Coverage 216 ÷ 566,280 = .000381 x 100 = 0.0381 %
Total Impervious Lot Area Impervious Coverage Percentage

Topographical Alteration/Earth moving

() None () 10 cubic yards or less () 11- 50 cubic yards (☒) over 50 cubic yards
Project over 50 cubic yards a storm water management plan must be included.

Characteristics of Proposed Dwelling/Dwelling Additions/Attached Garage/Decks		Cost of Project
() Dwelling _____ ft by _____ ft () Attached Garage _____ ft x _____ ft		\$ _____
Outside Dimension () Deck/Patio _____ ft x _____ ft () Addition to existing _____ ft x _____ ft		
Setback to Side Lot Line _____ ft & Rear Lot Line _____ ft	Setback to Road Right of Way _____ ft	
Setback to Bluff _____	Type of road _____	
Setback to Wetland _____	Is wetland protected () Yes () No	
Setback to OHW (straight horizontal distance) _____	Elevation above OHW (Straight vertical distance) _____	
Setback to septic tank _____	Setback to drainfield _____	
Total No. Bedrooms _____	Maximum height proposed _____ # of Stories _____	
Roof Change () Yes () No	Basement () Yes () No Walkout Basement () Yes () No	

Characteristics of Proposed Non Dwelling/Non Dwelling Additions/Detached Garages/Storage Sheds		Cost of Project
() Garage _____ ft by _____ ft () Storage Shed _____ ft x _____ ft (✓) Fence 60 ft long x 8' high (X) Other Tower 310' ft x _____ ft		
Outside Dimension () Addition to existing structure _____ ft x _____ ft () Fence 60 ft x 82 ft Equipment/Lease area, foundation 8x8 Platform 2x2		
Setback to Lot Line 50 ft & Rear Lot Line _____ ft	Setback to Road Right of Way 85 ft	\$ 120,000
Setback to Bluff _____	Type of road _____	
Setback to Wetland _____	Is wetland protected () Yes (✓) No	
Setback to OHW (straight horizontal distance) _____	Elevation above OHW (Straight vertical distance) _____	
Setback to septic tank _____	Setback to drainfield _____	
Roof Change () Yes (✓) No	Maximum height proposed 310' # of Stories _____	
Bathroom proposed () Yes (✓) No	Sleeping Quarters proposed () Yes (✓) No	
*Garages and storage sheds cannot contain amenities for independent human habitation		

Characteristics of Proposed Water Oriented Structure*	Cost of Project \$
() Stairway () Deck () Boathouse () Screen Porch () Gazebo () Storage Structure	_____
Outside Dimension _____ ft by _____ ft	Sq ft _____
Setback to Lot Line _____ ft & _____ ft	Setback to Bluff _____
Setback to OHW (straight horizontal distance) _____	Elevation above OHW (Straight vertical distance) _____
Setback to septic tank _____	Setback to drainfield _____
Maximum height proposed _____	
*Sleeping facilities or water supplies are not permitted in these structures	

THIS IS A SITE PERMIT ONLY AND DOES NOT CONSTITUTE A BUILDING PERMIT
AS SET FORTH IN MN STATE STATUTES.

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge. I also understand that, once issued, a permit is valid for a period of one (1) year from the date of issuance. If my property is located within the shoreland district, I understand that it is my responsibility to inform the Planning & Zoning Office once the building footings have been constructed. A Site Permit may be revoked at any time upon violation of said Ordinances and approved setbacks. Any changes to this site permit results in nullification of this permit and a new permit will have to be obtained.

Signature

Date

2/5/16



9973 VALLEY VIEW RD. (952) 903-9299
EDEN PRAIRIE, MN 55344 WWW.DESIGN1EP.COM

March 18, 2016

Jessica Ross
Zoning & Compliance Specialist – New Tower Builds

RE: MN17702-B Bad Medicine

Dear Ms. Ross:

After reviewing the field work report & having discussions with the onsite representative for my company who was in attendance of the site visit for potential options in the area of the proposed tower we've come up with the following items that make the current candidate the top choice:

- 1.) Access to this location is much shorter than the alternate candidates visited. The other options faced tough terrain. Both the presence of low lying areas and large variations in grade were present at those other locations. The current candidate has very small grade variations and lacks the presence of low lying areas. I recommend the current candidate due to the short flat road that will be able to be built to give your tenants quick response times without the need to maneuver any obstacles.
- 2.) Utilities are present at the current location. Other candidates didn't have utilities present and would cost a great deal of capital contributions to get utilities to those locations. The presence of utilities onsite is required by any tower tenants to serve their customers.

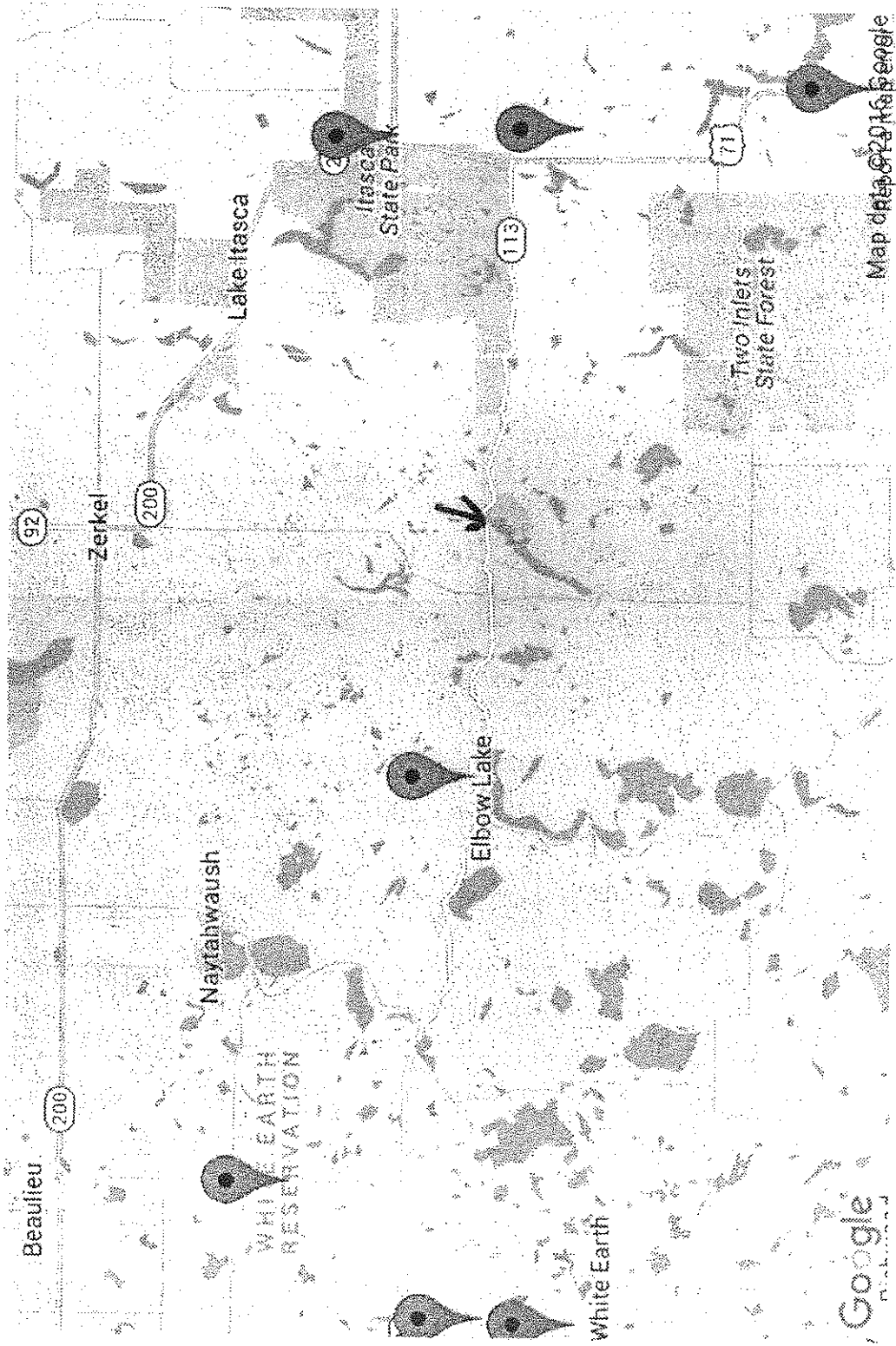
Please let me know if you have any more questions or comments for Chris Davis or me about the choice of this candidate. Design 1 of Eden Prairie has been designing and building tower sites for over 25 years with Chris being the VP of Construction there isn't anyone I'd trust more to choose the right candidate to build this site.

Sincerely,

A handwritten signature in black ink, appearing to read "Tate Brandt", with a long, sweeping horizontal line extending from the end of the signature.

Tate Brandt
Project Manager
Design 1
9973 Valley View Road
Eden Prairie, MN 55344

Other Varignon Towers



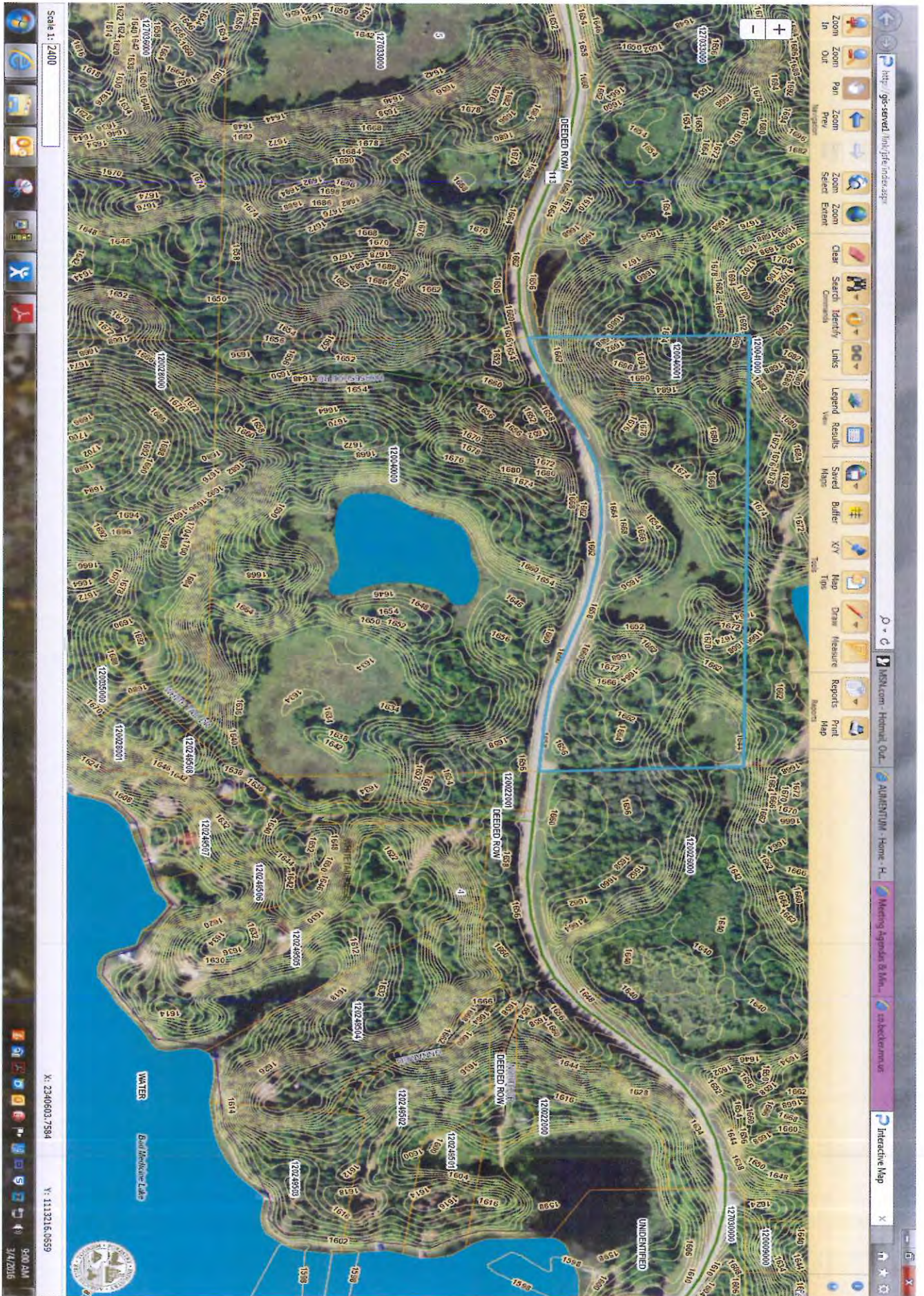


Scale 1: 2400

X: 234364.175

Y: 1113945.236







Propagation Maps for MN05 Bad Medicine

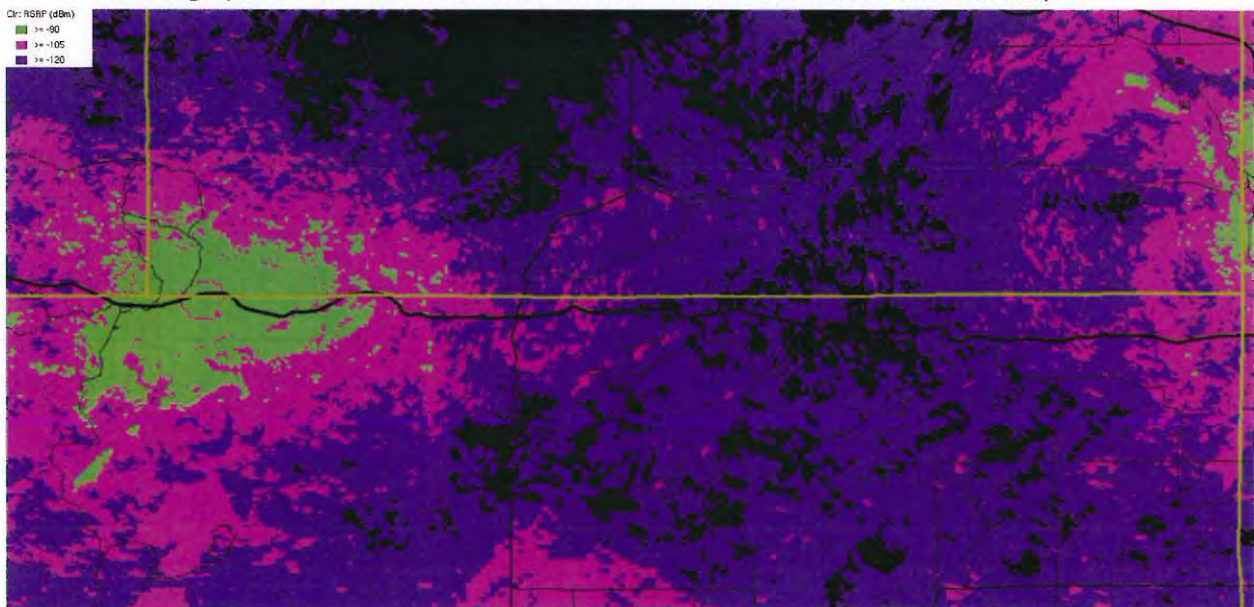
Michael Koch, Verizon Wireless RF Engineer

March 2nd, 2016

The following maps will provide justification for the MN05 Bad Medicine Verizon Wireless new build site.

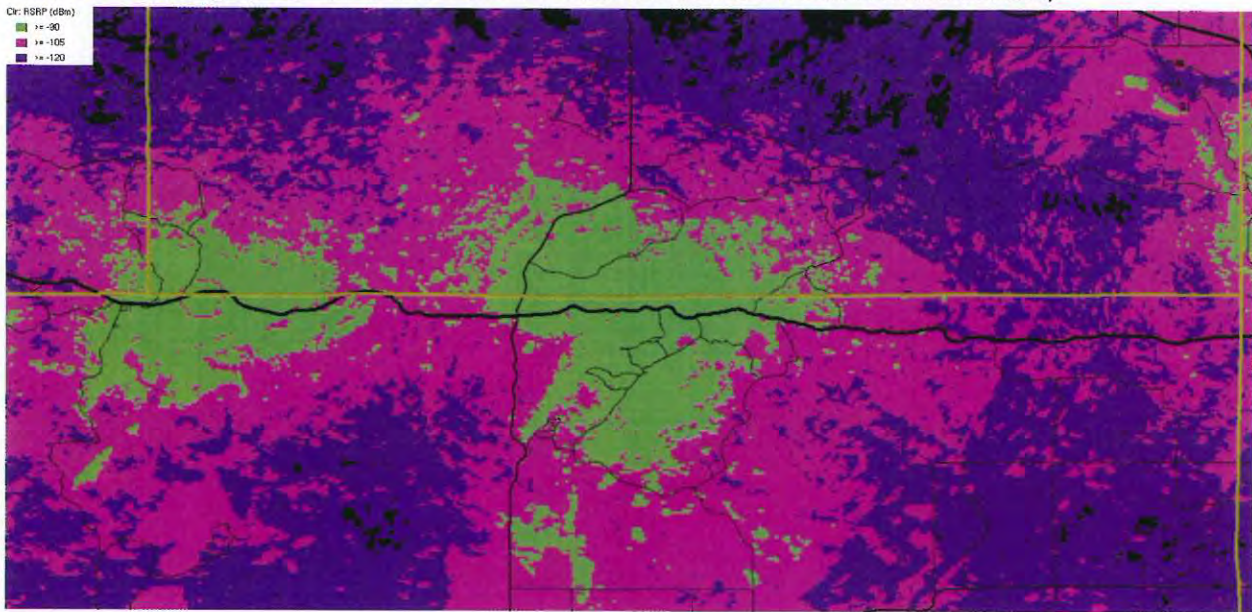
MN05 Bad Medicine will provide much needed coverage along MN 113 between Hwy 37 and US 71. This is an area that has historically had little to no coverage for the nearby resorts and lakes. The coverage that we do have ends up producing throughput concerns during the summer months due to the various resorts and lakes in that area that draw in a lot of data traffic. Throughput drops can lead to poor download speeds or dropped calls. Very poor coverage will disallow a user to connect any calls or data links whatsoever. The proposed macro site will alleviate all of these concerns by providing excellent and consistent coverage all along MN 113 and in the resorts and nearby lakes. Below are before and after RSRP coverage maps that show the difference in coverage.

Current Coverage (Before the new MN05 Bad Medicine Verizon Wireless new build site)



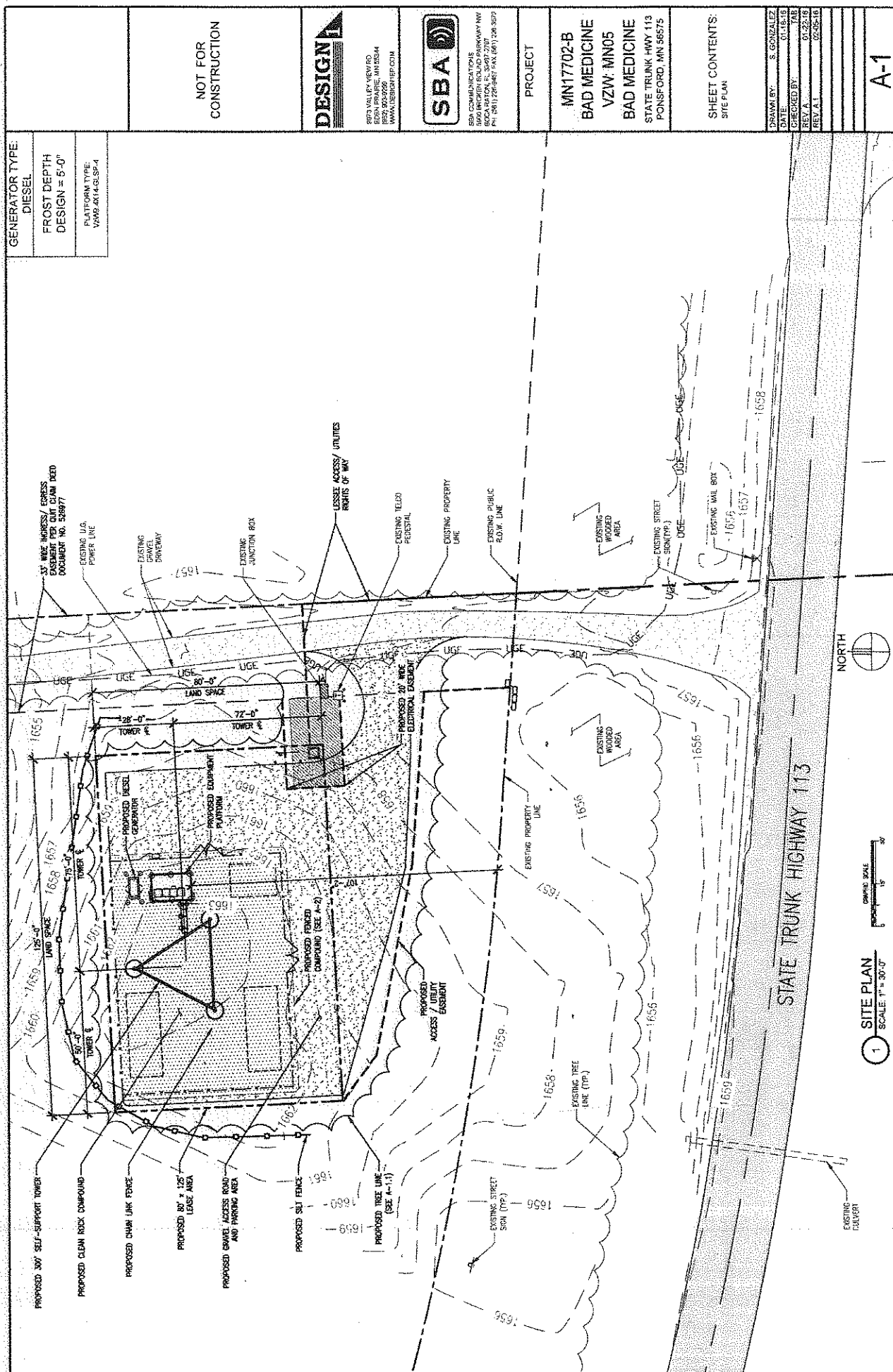
In the current coverage plot, you can see the approximately 10 mile gap in coverage between our two existing sites. This gap produces dropped calls, and the likely inability to sustain a data connection for any internet services. The Green indicates ideal coverage, which results in good to excellent indoor signal levels. The light pink indicates good indoor signal levels. The purple indicates acceptable to poor indoor signal quality levels.

Proposed Coverage (After the new MN05 Bad Medicine Verizon Wireless new build site)



In the proposed coverage plot, which includes MN05 Bad Medicine, you can see the significant coverage improvement. This improvement will help the area near the lakes and resorts immensely. The same scale applies here. The Green indicates ideal coverage, which results in good to excellent indoor signal levels. The light pink indicates good indoor signal levels. The purple indicates acceptable to poor indoor signal quality levels.

The above plots clearly indicate the enormous coverage gains attributed to the new build site being added in. Without this new site, we will continue to experience very poor to no coverage in these areas. This poor coverage and performance will negatively affect users and businesses alike. Building the new MN05 Bad Medicine site will achieve the coverage gains shown above, and will ensure continued quality of service to both users and businesses in the region.





January 27, 2016

Julene Hodgson
Zoning Technician
Becker County Planning & Zoning
915 Lake Avenue
Detroit Lakes, MN 56501



RE: Conditional Use Permit Application for SBA Communications and Verizon Wireless, APN 120040001

Dear Julene:

Please see the attached Application for a Conditional Use Permit for SBA and Verizon Wireless' proposed facility on Parcel 120040001, owned by Cory & Katie Jendro

Project Description

SBA Communications is proposing to construct a 300' self-support tower on Parcel 120040001. The subject property is zoned Agricultural and is owned by Cory and Katie Jendro. The property is currently undeveloped and is wooded with some areas of wetland. The surrounding neighborhood is similar in character to the subject property.

The function of this site for Verizon will be that of overall coverage. As detailed on the enclosed drawings, Verizon will be mounting their antennas at 296'. This tower will be engineered to accommodate at least three additional tenants. This will eliminate the need for another tower in this immediate area in the future. No existing or approved towers or commercial/industrial buildings within a two-mile radius meet the needs of Verizon's Radio Frequency (RF) engineers, therefore, co-location is not an option in this case.

We feel that this proposal complies with the purpose of the Becker County Zoning Ordinance as stated in Section 18: "To accommodate the communications needs of residents and businesses while protecting the public health, safety and general welfare."

Our proposal conforms to all of the requirements of a Conditional Use Permit in Becker County, with the exception of Section E2a., Public Water Setback. We are asking for relief from this requirement due to the fact that we are unable to develop a site that will meet Verizon's coverage objectives for providing service to its customers in the Bad Medicine Lake area and not be within 2,640' of the ordinary high water mark of a public water way. We have included a copy of Verizon's search area map, noting the location of our proposed site. Much of the land in this area is tax forfeited land, owned by Becker County. County regulations limit the length of any lease on this type of property to ten years. We require a minimum of a 35 year lease term for a tower site. Our proposed location represents a site that is (1) leasable, (2) buildable (3) meets the client's RF needs and (4) has a willing landlord.

The tower itself is proposed at 300', with a 10' lightning rod, for an overall height of 310'. The tower can be engineered to have a fall zone of 50%, or 150' in any direction. We are happy to provide a certified letter from an engineer stating that.

PH:847-430-3547

**Novation Group Consulting, Ltd.
132 S Delphia Ave
Park Ridge, IL 60068**

FAX:847-430-3549



Co-location

The proposed tower will be owned by SBA Communications Corporation and will actively be marketed to other carriers to invite co-location. From SBA's website:

SBA Communications Corporation (SBA) is a leading independent owner and operator of wireless communications infrastructure across North, Central and South America. Founded in 1989 and headquartered in Boca Raton, Florida, SBA is listed on NASDAQ under the symbol: SBAC.

By "Building Better Wireless", SBA generates revenue from two primary businesses - site leasing and site development services.

In our site leasing business, we lease antenna space on our multi-tenant towers and other structures to a variety of wireless service providers under long-term lease contracts.

Our site development business offers wireless service providers and operators assistance in developing their own networks through site acquisition, zoning, construction and equipment installation.

We look forward to working with you. If you have any questions regarding our application, please feel free to call me at 847-644-6300 or email me at Alex@NovationGroup.com.

Sincerely,

Alexander Novak

PH:847-430-3547

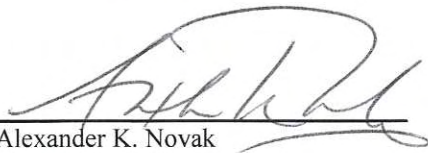
**Novation Group Consulting, Ltd.
132 S Delphia Ave
Park Ridge, IL 60068**

FAX:847-430-3549



Sworn Statement:

"I declare under penalty of perjury that the aforementioned is true."


Alexander K. Novak
Declarant/Applicant

PH:847-430-3547

**Novation Group Consulting, Ltd.
132 S Delphia Ave
Park Ridge, IL 60068**

FAX:847-430-3549

Affidavit of Publication
/STATE OF MINNESOTA)
County of Becker) ss.

Pippi Mayfield, being first duly sworn, on oath states as follows:

1. I am the editor of the Detroit Lakes Tribune and publisher's designated agent. I have personal knowledge of the facts stated in this Affidavit, which is made pursuant to Minnesota Statutes §331A.07.

2. The newspaper has complied with all of the requirements to constitute a qualified newspaper under Minnesota law, including those requirements found in Minnesota Statutes §331A.02.

3. The dates of the month and the year and day of the week upon which the public notice attached/copied below was published in the newspaper are as follows Wednesday the 20th day of January, 2016

4. The publisher's lowest classified rate paid by commercial users for comparable space, as determined pursuant to § 331A.06, is as follows: \$16.30.

5. Mortgage Foreclosure Notices. Pursuant to Minnesota Statutes §580.033 relating to the publication of mortgage foreclosure notices: The newspaper's known office of issue is located in Becker County. The newspaper complies with the conditions described in §580.033, subd. 1, clause (1) or (2). If the newspaper's known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

FURTHER YOUR AFFIANT SAITH NOT.

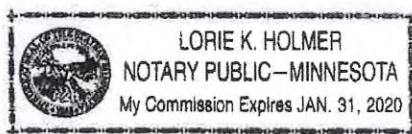
Pippi Mayfield

[Signature]

Subscribed and sworn to before me on
this 20th day of January, 2016.

Lorie K. Holmer

Notary Public



PUBLIC NOTICE

SBA Towers IX, LLC is proposing to install a telecommunications tower located at 48008 HWY 113 in Ponsford, Becker County, MN and 47.14689° N by -95.38252° W. The height of the tower will be 94.5 meters above ground level and 601.5 meters above mean sea level. In accordance with FAA Requirements, tower lighting is not required and is not currently proposed. Interested persons may review the application for this project at www.fcc.gov/asr/applications by entering Antenna Structure Registration (Form 854) file number A0995377 and may raise environmental concerns about the project by filing a Request for Environmental Review with the Federal Communications Commission. Requests for Environmental Review must be filed within 30 days of the date that notice of the project is published on the FCC's website. The FCC strongly encourages interested parties to file Requests for Environmental Review online at www.fcc.gov/asr/environmentalrequest. Parties wishing to submit the request by paper may do so by mailing the request to "FCC Requests for Environmental Review, Attn: Ramon Williams, 445 12th St SW, Washington, DC 20554."

2262170

T-Jan 20



COUNTY OF BECKER

Planning and Zoning

915 Lake Ave, Detroit Lakes, MN 56501
Phone: 218-846-7314 ~ Fax: 218-846-7266

Authorized Agent Form

1. Form must be legible and completed in ink.
2. Check appropriate box(es). Write any specific restrictions on the checked item in the space provided (e.g. "garage site permit" or "valid only on permit applications submitted between 06/01/20XX and 08/01/20XX"). If you want your agent to represent you on a conditional use or variance application and also be authorized to obtain the related permit(s), be sure to check and complete the "permit application" item as well. If an item's box is checked and the accompanying space is left blank, the authorization granted on that item is valid for a period of one year from the date of signature on this form until Becker County Planning and Zoning receives signed, written notification from the property owner(s) stating otherwise or the property's ownership changes.

I (we), Cory & Katie Jendro hereby authorize Novation Group to act
 (landowner-print name) (agent-print name) Alexander Novak
 as my (our) agent on the following item(s): appropriate box(es)

☐ permit application (write in permit "type" – e.g. site, septic, etc.): _____

☐ plat application: _____

☒ conditional use application: For a 300' communications tower

☐ variance application: _____

☐ other: _____

on my (our) property located at:

Tax Parcel Number(s): 120040001 Physical Site Address: _____

Legal Description: Part of SE 1/4 of the NE 1/4

Section: 5 Township: 142 Range: 37 Lot: _____ Block: _____ Plat Name: _____

Agent Contact Information

Agent address: 132 S. Delphia Ave Park Ridge IL 60068
 Street City State Zip Code

Agent phone #(s): 847-644-6300 Agent fax #: 847-430-3549

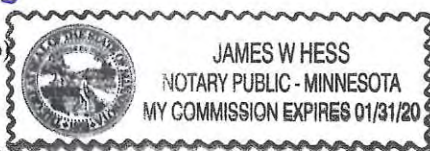
Agent email address: Alex @ NovationGroup.com

[Signature] [Signature] 1/25/16
 Property Owner(s) Signature(s) Date

State of Minnesota
 County of Becker

On this 25th day of January before me personally appeared Cory & Katie Jendro to me
 known to be the person(s) described in and who executed the foregoing instrument; and acknowledged that
they executed the same as their free act and deed.

(Notary Stamp)



[Signature]
 Notary Public

Office Use Only:

Date received: _____

Expiration Date: _____

EXHIBIT "A"
Legal Description

An interest in land, said interest being over a portion of the following described parent parcel:

That part of the Southeast Quarter of the Northeast Quarter (SE¼ of NE¼) of Section Five (5), Township One Hundred Forty-two (142), Range Thirty-seven (37), which lies North of Trunk Highway No. 113; Subject to an easement for ingress and egress over and across the East 33 feet of that part of the SE¼ of NE¼, Section 5, Township 142, Range 37, lying northerly of Highway 113.

AND BEING the same property conveyed to Cory D. Jendro and Kathie M. Jendro from Michael L. Harmon and Abel A. Harmon by Warranty Deed dated March 15, 2006 and recorded March 22, 2006 in Instrument No. 534344.

Tax Parcel No. 120040001

Said interest being over land more particularly described by the following description:

Insert metes and bounds description of area

534344

BECKER COUNTY RECORDER
STATE OF MINNESOTA

Document No. 534344

March 22, 2006 at 12:18 PM

I hereby certify that the within
instrument was recorded in this office.

CERTIFICATE OF REAL ESTATE VALUE FILED 1873

No delinquent taxes and transfer entered

this 22 day of March 2006

Keith A. Becker

County Auditor, Becker Co.

By: [Signature] Deputy

12.00 40.00/

Darlene Maneval, County Recorder

By: [Signature] Deputy

WARRANTY DEED

Individual to Joint Tenants

STATE DEED TAX DUE HEREON: \$115.50

Date: March 15, 2006.

FOR VALUABLE CONSIDERATION, MICHAEL L. HARMON, a single man, and ABEL A. HARMON, a single man, Grantors, hereby convey and warrant to CORY D. JENDRO and KATIE M. JENDRO, husband and wife, Grantees, as joint tenants, real property in Becker County, Minnesota, described as follows:

That part of the Southeast Quarter of the Northeast Quarter (SE $\frac{1}{4}$ of NE $\frac{1}{4}$) of Section Five (5), Township One Hundred Forty-two (142), Range Thirty-seven (37), which lies North of Trunk Highway No. 113; Subject to an easement for ingress and egress over and across the East 33 feet of that part of the SE $\frac{1}{4}$ of NE $\frac{1}{4}$, Section 5, Township 142, Range 37, lying northerly of Highway 113;

together with all hereditaments and appurtenances belonging thereto, and subject to any prior conveyances of minerals or mineral rights, any prior reservations, restrictions, easements, rights of way and any zoning and use regulations, and subject also to the lien of any unpaid special assessments and interest thereon.

Grantor certifies that Grantor does not know of any wells on the described real property.

MAR 22 2006

[Signature] Michael L. Harmon

[Signature] Abel A. Harmon

RECEIPT # 324970
BECKER COUNTY
DEED TAX
AMT. PD. \$ 115.50
BECKER COUNTY TREASURER

STATE OF SOUTH DAKOTA

ss.

COUNTY OF Mellette

The foregoing instrument was acknowledged before me this 15th day of March, 2006, by Michael L. Harmon, a single man, Grantor.

[Signature] Notary Public
My Comm. Expires 7-22-06

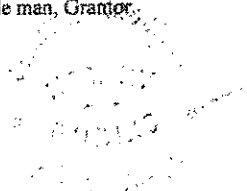
chg
-paid
well
non/std
extra

To: Hubbard County Abstract Co. Inc
416 West 3rd St
Parks Rapids MN 56470

STATE OF SOUTH DAKOTA

COUNTY OF Meade ^{35.}

The foregoing instrument was acknowledged before me this 15th day of March, 2006, by Abel A. Harmon, a single man, Grantor.


Notary Public Jeffrey Kuehn
my comm expires 7-22-07

THIS INSTRUMENT DRAFTED BY:
DRAHOS YOUNG & KIESON, P.A.
Attorneys at Law
1005 Paul Bunyan Drive N.W.
Bernidji, MN 56601
(218) 444-1750

TAX STATEMENTS SHOULD BE SENT TO:
Cory D. Jendro and Katie M. Jendro
3605 Manitoba Avenue, #14
Grand Forks, ND 58203

F:\D Y K\SAVED\DCS\e-mail-out\Harmon-Jendro-WD(036306).rtf (vns)



**Federal Aviation
Administration**

The system will be going offline at 7 pm ET on Thursday, January 28, 2016 for upgrades. We apologize for any inconvenience.

FAA Advisory Circular 70/7460-1L, Obstruction Marking Lighting was published on 12/4/2015, and is effective as of that date.
The document may be viewed at
http://www.faa.gov/regulations_policies/advisory_circulars/index.cfm/go/document.information/documentID/1028657

« OE/AAA

Notice of Proposed Construction or Alteration - Off Airport

Add a new Case Off Airport - Desk Reference Guide V_2015.4.0

Add a New Case Off Airport for Wind Turbines - Met Towers - Desk Reference Guide V_2015.4.0

Project Name: SBA T-000353729-16

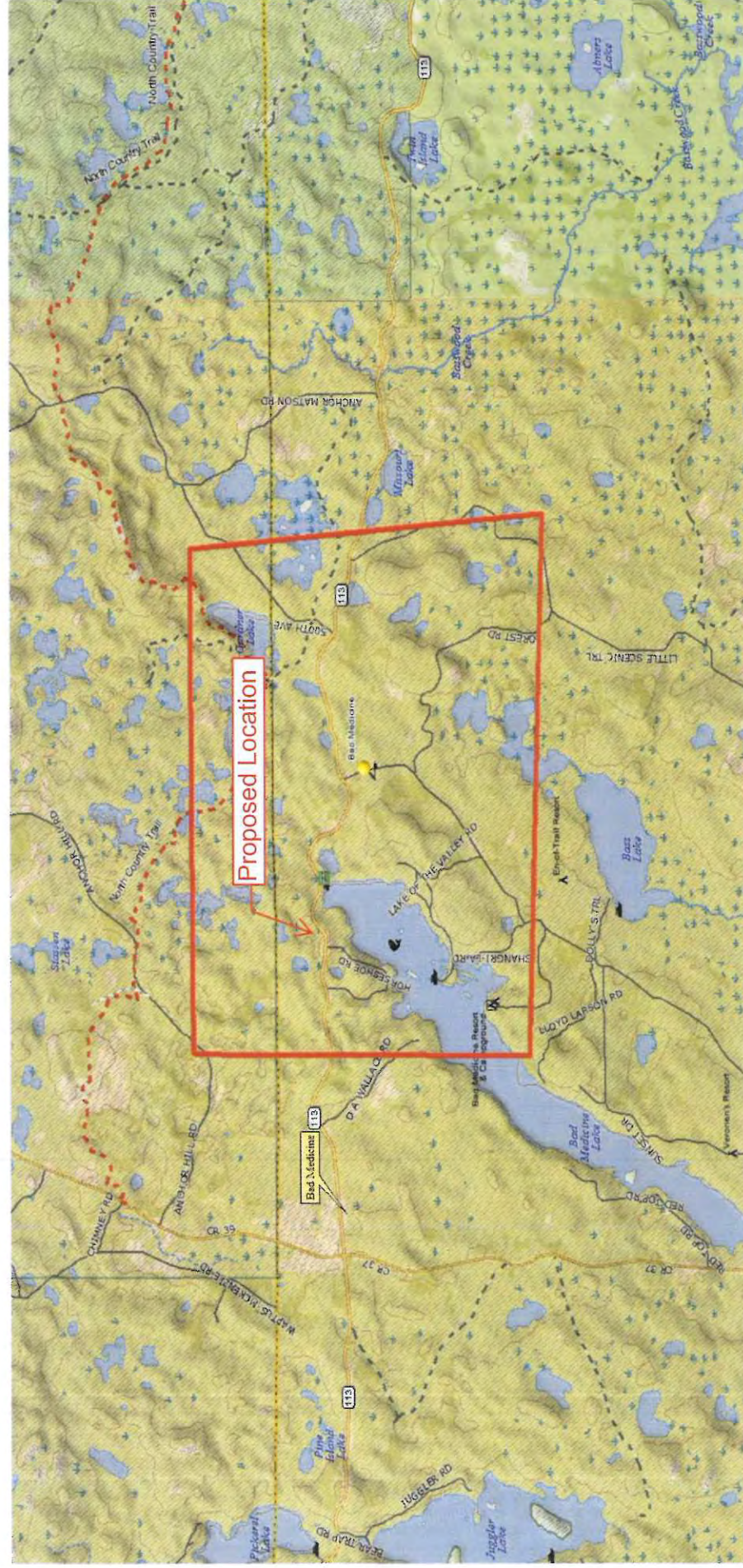
Sponsor: SBA Towers

Details for Case : MN 17702-B

[Show Project Summary](#)

Case Status				
ASN:	2016-AGL-539-OE			
Status:	Work In Progress			
Public Comments:	None			
Date Accepted:	01/14/2016			
Date Determined:				
Letters:	None			
Documents:	01/14/2016 MN 17702-B 1A Sur...			
Project Documents:	None			
Construction / Alteration Information				
Notice Of:	Construction			
Duration:	Permanent			
if Temporary :	Months: Days:			
Work Schedule - Start:				
Work Schedule - End:				
*For temporary cranes-Does the permanent structure require separate notice to the FAA? To find out, use the Notice Criteria Tool. If separate notice is required, please ensure it is filed. If it is not filed, please state the reason in the Description of Proposal.				
State Filing:				
Structure Details				
Latitude:	47° 8' 48.82" N			
Longitude:	95° 22' 57.07" W			
Horizontal Datum:	NAD83			
Site Elevation (SE):	1663 (nearest foot)			
Structure Height (AGL):	310 (nearest foot)			
Current Height (AGL):	(nearest foot)			
* For notice of alteration or existing provide the current AGL height of the existing structure. Include details in the Description of Proposal				
Minimum Operating Height (AGL):	(nearest foot)			
* For aeronautical study of a crane or construction equipment the maximum height should be listed above as the Structure Height (AGL). Additionally, provide the minimum operating height to avoid delays if impacts are identified that require negotiation to a reduced height. If the Structure Height and minimum operating height are the same enter the same value in both fields.				
Nacelle Height (AGL):	(nearest foot)			
* For Wind Turbines 500ft AGL or greater				
Requested Marking/Lighting:	Dual-red and medium intensity			
Other :				
Recommended Marking/Lighting:				
Current Marking/Lighting:	N/A Proposed Structure			
Other :				
Nearest City:	Ponsford			
Nearest State:	Minnesota			
Description of Location:	See attached 1A and the FAA map			
Description of Proposal:	Proposed new construction			
Structure Summary				
Structure Type:	Antenna Tower			
Structure Name:	MN 17702-B			
FDC NOTAM:				
NOTAM Number:				
FCC Number:				
Prior ASN:				
Common Frequency Bands				
Low Freq	High Freq	Freq Unit	ERP	ERP Unit
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
Specific Frequencies				

← Previous [Back to Search Result](#) Next →





These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.	Jendro Map		Becker County	
1:2,400			Date: 9/18/2015	
This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.				



SITE NAME:	MM17703-B BAD MEDICINE
SITE ADDRESS:	STATE TRUNK HWY 113 PONSFORD, MN 56575
COUNTY:	BECKER
LATITUDE:	N47° 08' 48.821" (N4D 83)
LONGITUDE:	W95° 22' 57.072" (W4D 83)
DRAWING BASED ON:	
SITE DATA FORM DATED:	01-12-16
BUILDING TYPE:	IB
SITE AREA:	80' X 125' = 10,000 S.F.
SOIL LOAD:	LIVELoad = 105 PSF

REV.	DESCRIPTION	SHEET OR DETAIL
A	ISSUED FOR REVIEW 01-22-16	ALL
A.1	ISSUED FOR REVIEW 02-05-16	ALL

SHEET	SHEET DESCRIPTION
T-1	PROJECT INFORMATION, TOWER ELEVATION, AND SHEET INDEX
A-1, A-1.1	SITE PLAN, DRAINAGE AND SCREENING PLAN
A-2	ENLARGED SITE PLAN, SITE PHOTO
A-3	ANTENNA, COAX KEY, CABLE BRIDGE PLAN, NOTES, SITE PHOTOS
A-4	EQUIPMENT PLATFORM PLANS, ELEVATIONS, NOTES, & DETAILS
A-5	GENERATOR PLANS, ELEVATIONS, NOTES, & DETAILS
A-6	FENCING DETAILS
A-7	BOLLARD, CABLE BRIDGE, GRAVEL ROAD, GPS, CMPP DETAIL
A-8	OUTLINE SPECIFICATIONS
G-1, G-2	GROUNDING SPECIFICATIONS, PLAN AND DETAILS
U-1	SITE UTILITY PLAN, ENLARGED SITE UTILITY PLAN, HAND HOLE PLAN
U-2, U-4	ONE-LINE RISER DIAGRAM, PANEL SCHEDULE, TELCO ENTRY DETAIL

DIRECTIONS FROM BLOOMINGTON, IN:
 GET ON US-40 N FROM LINDESTRM DR AND BLOOMINGTON FERRY RD
 FOR 2 MI. FOLLOW I-64 W AND US-10 W TO I-64-210E IN MOTLEY FOR 1.33
 MI. TAKE MM-64 N AND CO HWY 181 COUNTY 18 TO US-71 N IN ARAGO
 FOR 1.33 MI. TURN RIGHT ON US-71 N. GO 1.33 MI. TO I-64-210E
 MM-113 W FOR 1.16 MI. SITE WILL BE ON THE RIGHT SIDE.

A map showing the location of the site. The site is marked with a black dot and labeled "SITE" in a black box. It is located on a road that runs north-south. To the north of the site is a road labeled "WHITE TAIL DR". To the south of the site is a road labeled "HORSESHOE RD". Further south is a road labeled "112". A compass rose indicates that North is towards the top of the map.

	NAME	DATE
RF ENGINEER		
OPERATIONS MANAGER		
CONSTRUCTION ENGINEER		

SIGNATURE	PRINTED NAME	DATE

LESSOR / LICENSOR: PLEASE CHECK THE APPROPRIATE BOX BELOW

☐ NO CHANGES; ☐ CHANGES NEEDED. SEE COMMENTS.

LESSOR / LICENSEE: CORY JENDRO
25700 18TH ST W
ZIMMERMAN, MN 55398
(761) 610-3272

LESSEE: SBA TOWERS V, LLC
2900 BROKEN SOUND PARKWAY, NW
BOCA RATON, FL 33487-2789
LUCKA HALEPENT (609) 862-2357

POWER UTILITY COMPANY CONTACT: ITASCA-MINTRAP COOP.
10000 10TH AVE N
PARK RAPIDS, MN 56470
ALEXIA ISAACSON (218) 732-3377

TELCO UTILITY COMPANY CONTACT: T&D.

1 EAST ELEVATION
SCALE: 1" = 40'

PROPOSED 10' LIGHTING ROD

OVERALL STRUCTURE HEIGHT
193.3' AMSL / 310' AGL

ANTENNA TIP HEIGHT
193.3' AMSL / 300' AGL

ANTENNA CENTERLINE HEIGHT
193.3' AMSL / 286' AGL

VZNR PROPOSED LOADING ON H.D. SECTOR MOUNTS, (SITE PRO 1 LED V-FRAME, SURE LITE V-BOOM OR SM)

FUTURE PROVIDER
1931.7' AMSL / 268' AGL

FUTURE PROVIDER
1963.3' AMSL / 240' AGL

FUTURE PROVIDER
1875.3' AMSL / 212' AGL

NOTE:
1) TOWER TO BE ERRECTED AND
INSTALLED IN ACCORDANCE WITH TOWER
MANUFACTURER'S DRAWINGS NOT
INCLUDED WITH THIS PACKAGE.
DISCREPANCIES BETWEEN TOWER DRAWINGS
AND ARCHITECTURAL DRAWINGS TO BE
REPORTED TO SBA AND THE ARCHITECT
IMMEDIATELY.

2.) TOWER FOUNDATION, EQUIPMENT PLATFORM FOUNDATION & GENERATOR FOUNDATION AND THE ACCESS DRIVE TO BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH RECOMMENDATIONS AND SPECIFICATIONS OF THE GEOTECHNICAL REPORT WHICH IS NOT INCLUDED IN THIS PACKAGE. DISCREPANCIES BETWEEN THE REPORT AND THE OTHER DOCUMENTS TO BE IMMEDIATELY REPORTED TO SEA AND THE ARCHITECT.

3.) CONTRACTOR TO ENSURE TIP OF ANTENNAS DO NOT EXCEED TOWER HEIGHT.

PROPOSED 300' TALL -
ON P. SUPPORT TOWER

VZW PROPOSED 20KW DIESEL -

VZW PROPOSED EQUIPMENT -

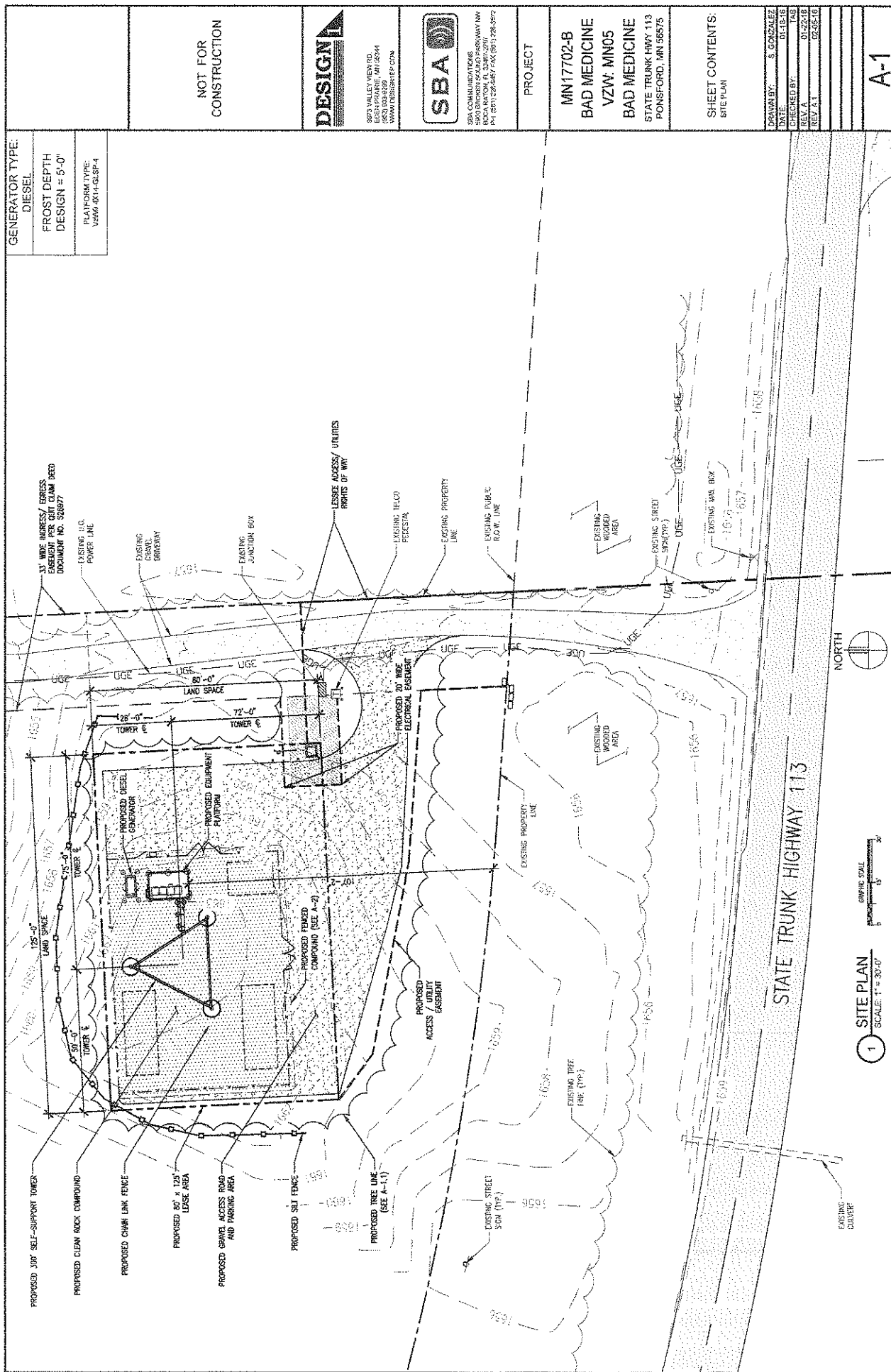
 GRADE @ TOWER

EAST ELE

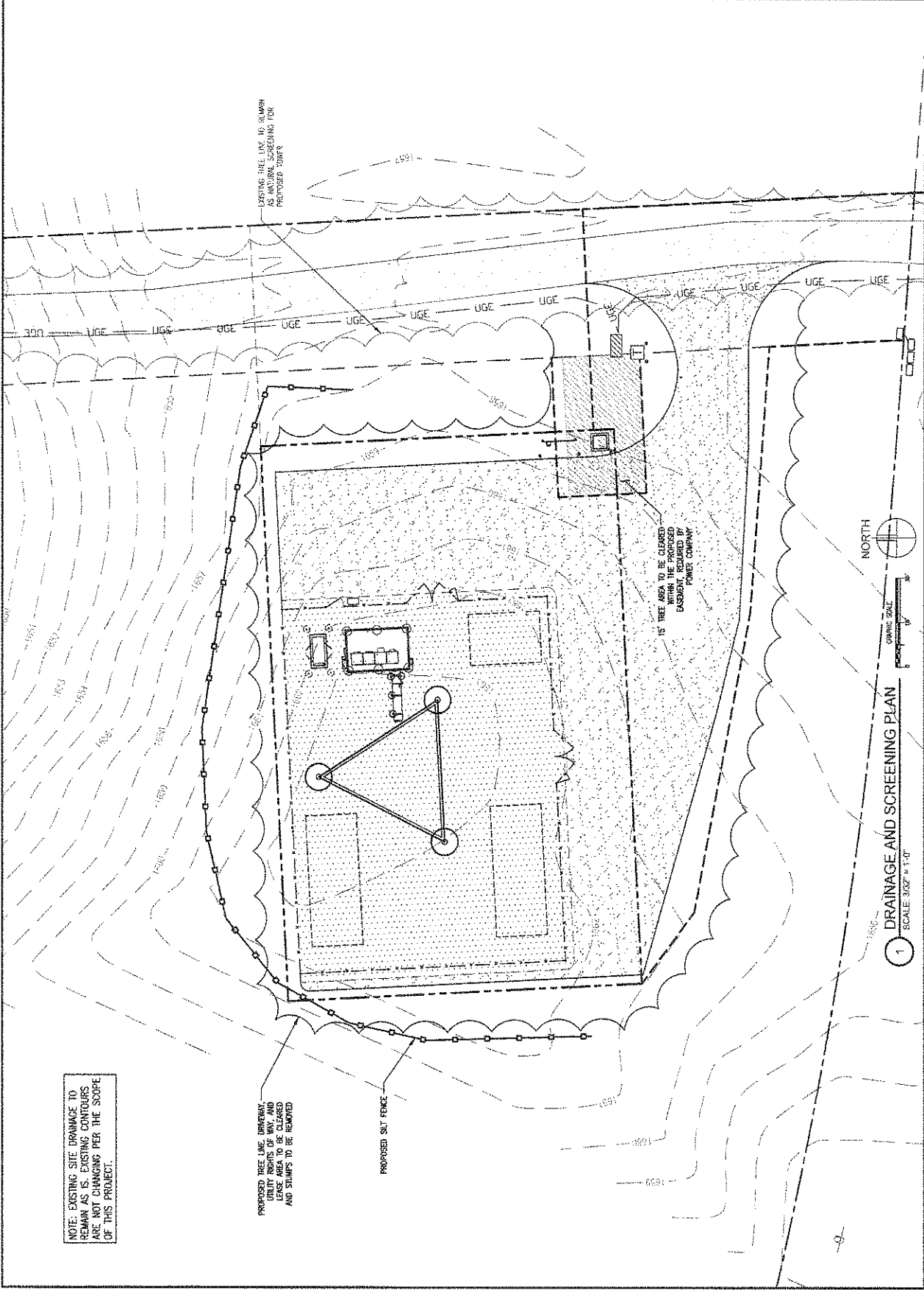
SCALE: 1" = 40'

1000

1



NOTE: EXISTING SITE DRAINAGE TO REMAIN AS IS. EXISTING CONTOURS ARE NOT CHANGING PER THE SCOPE OF THIS PROJECT.



NOT FOR
CONSTRUCTION



9623 VALLEY VIEW RD.
EVAN LAURENCE, MN 55041
TEL: (651) 228-8467 FAX: (651) 228-8372
WWW.PERSONAL-HP.COM



SBA COMMUNICATIONS
3000 BAYVIEW RD. SUITE 200
PO BOX 10000 PLYMOUTH, MN
TEL: (651) 228-8467 FAX: (651) 228-8372

PROJECT

MN17702-B
BAD MEDICINE
VZV: MN05
BAD MEDICINE
STATE TRUNK HWY 113
POWERSFORD, MN 55075

SHEET CONTENTS:
DRAINAGE & SCREENING PLAN

DRAWN BY:	S. DONALD
CHECKED BY:	01-15-10
REV. A:	01-20-10
REV. B:	02-20-10

A-1.1

1 DRAINAGE AND SCREENING PLAN
SCALE 3/32" = 1'-0"



3 ANTENNA KEY
SCALE: NONE

2

COAX KEY

SCALE: NONE

NOTE:
CABLE BRIDGE SUPPORTS ARE REQUIRED
AT INTERVALS NOT TO EXCEED 6'-0" WITH
OVERHANG EXTENSIONS NOT TO EXCEED 1'-6"

11'-5"

1'-6"

4'-2"

4'-2"

1'-6"

3'-0"

GFS ANTENNA

MIN.

6 CABLE BRIDGE PLAN
SCALE: 1/4" = 1'-0"

1 ANTENNA MOUNTING DETAIL
SCALE: 3/16" = 1'-0"

DESIGN 1



SBA COMMUNICATIONS
5900 BROKEN SOUND PARKWAY NW
BOCA RATON, FL 33487-2797
PH (561) 226-9457 FAX (561) 226-3572

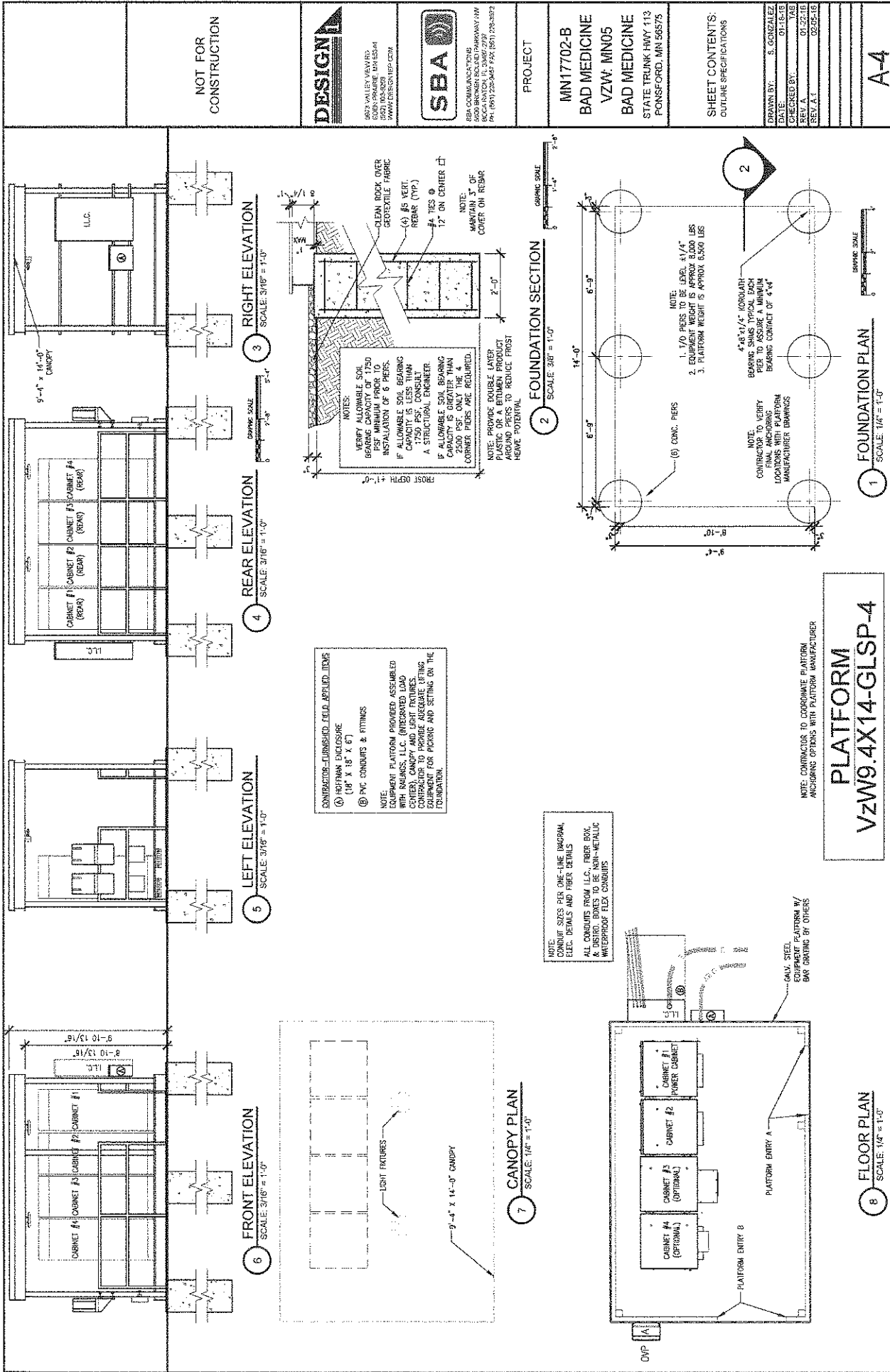
PROJECT

MN17702-B
BAD MEDICINE
VZW: MN05
BAD MEDICINE
STATE TRUNK HWY 113

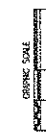
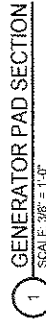
SHEET CONTENTS:
COAX, ANTENNA, & TTA KEY
CABLE BRIDGE PLAN
ANTENNA MOUNTING DETAIL
SITE PHOTOS

DRAWN BY:	S. GONZALEZ
DATE:	01-18-16
CHECKED BY:	TAB
REV. A	01-22-16
REV. A.1	02-05-16

A-3

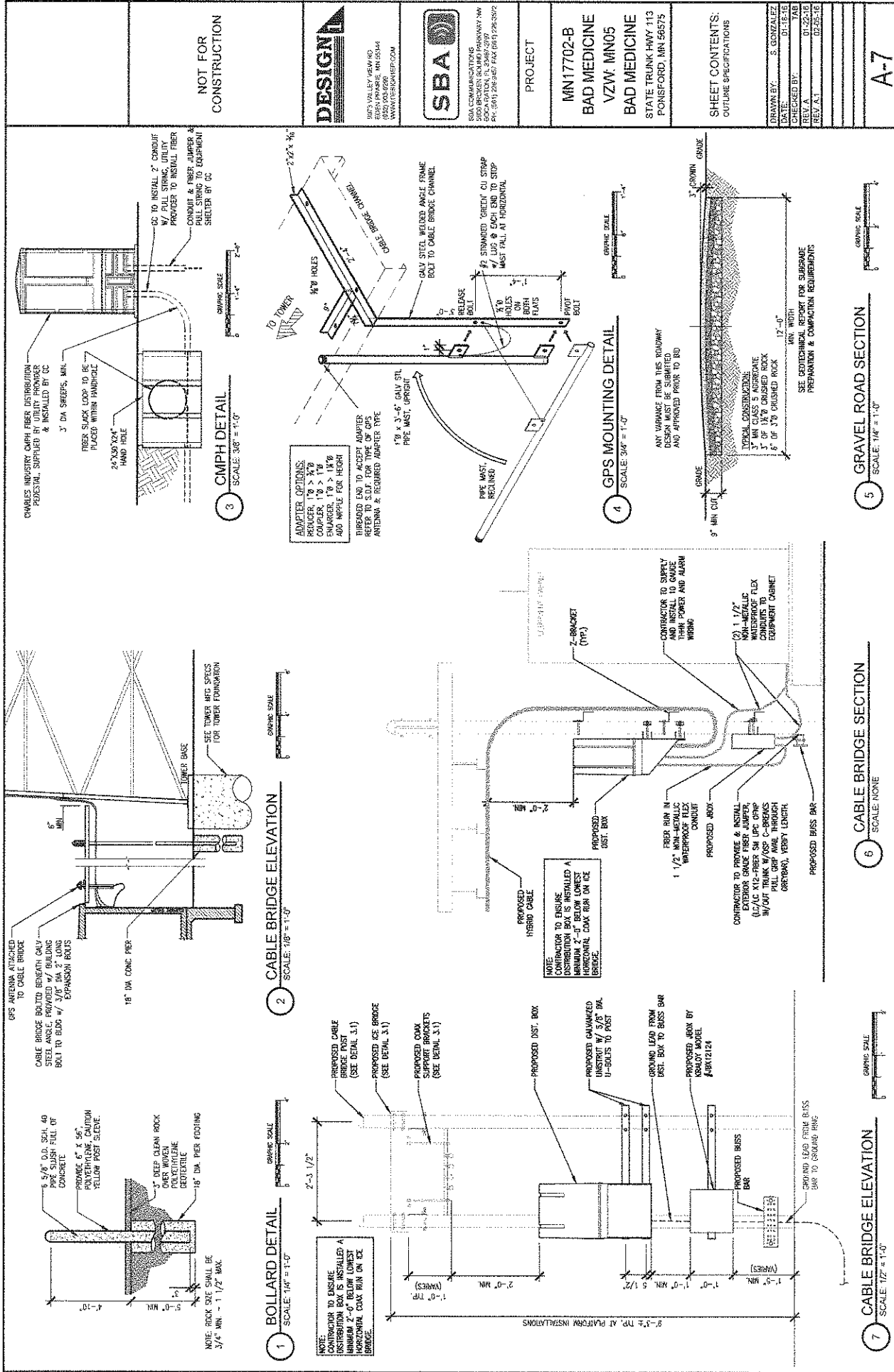


Enclosure ADV-8621

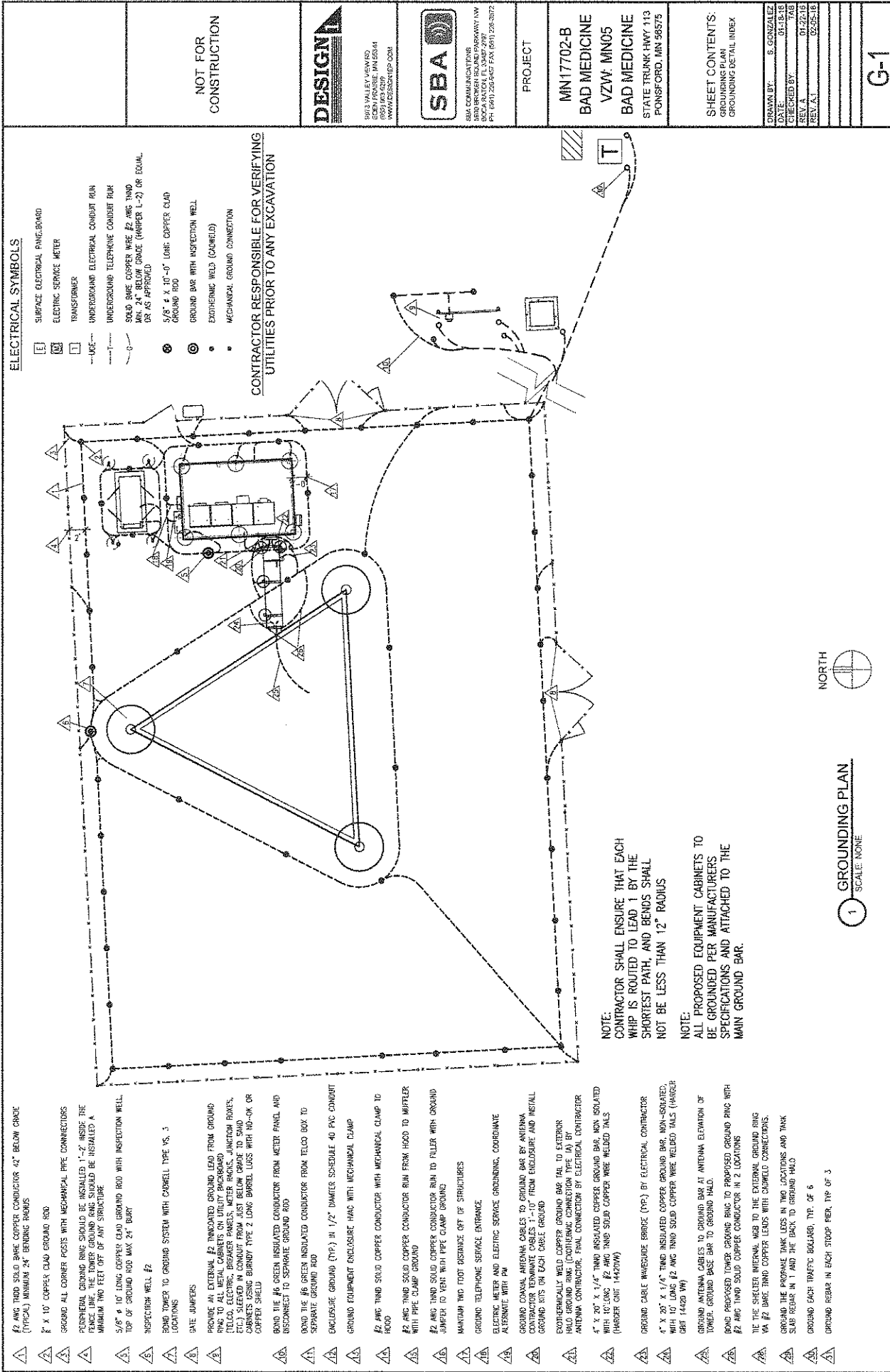


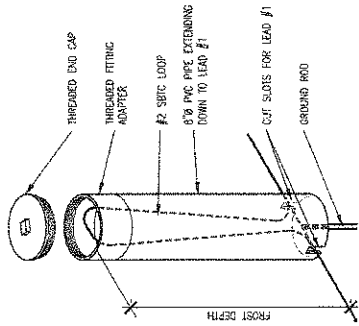
4 GENERATOR ELEVATIONS

A-5

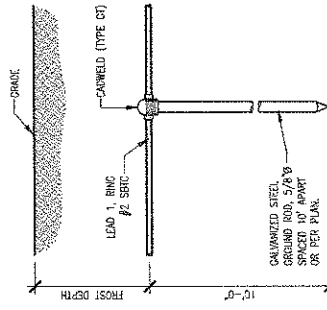


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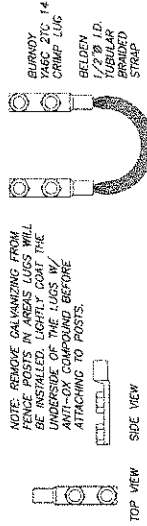




4 ACCESS WELL DETAIL
SCALE: 3/4" = 1'-0"

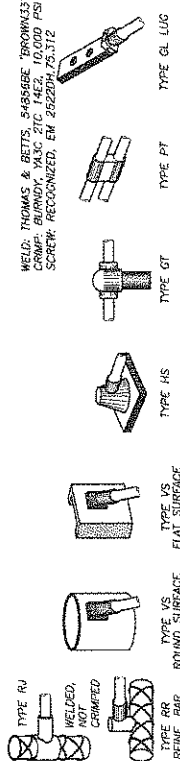


3 GROUNDING ROD DETAIL
SCALE: 1/2" = 1'-0"



HYTAP CONNECTOR
10,000 PSI
FITTING MUST BE UL467 LISTED
ACCEPTABLE FOR DIRECT BURIAL

1 TYPICAL WELDING CONNECTIONS
SCALE: 1/12" = 1'-0"



2 EXOTHERMIC WELD DETAILS
SCALE: 1/12" = 1'-0"

NOT FOR
CONSTRUCTION



DESIGN
500 S. VALLEY VIEW RD
ECONOMY, MN 55344
WWW.DESIGN-EP.COM



SBA COMMUNICATIONS
1000 S. VALLEY VIEW RD
ECONOMY, MN 55344
PH: (951) 225-1887 FAX: (951) 225-2572

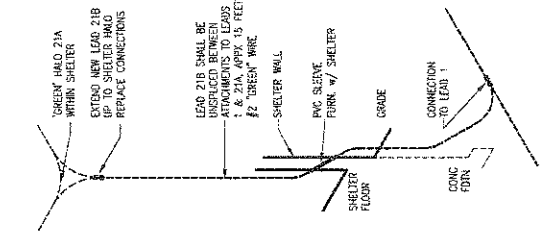
PROJECT

MN17702-B
BAD MEDICINE
VZW: MN05
BAD MEDICINE
STATE TRUNK HWY 113
POINTEAU, MN 55875

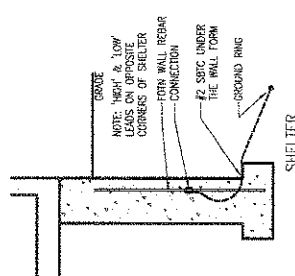
SHEET CONTENTS:
GROUNDING PLAN
GROUNDING DETAIL INDEX

DRAWN BY:	S. SORRELL
CHECKED BY:	G. SORRELL
REV. A:	01-23-16
REV. A.1:	02-05-16

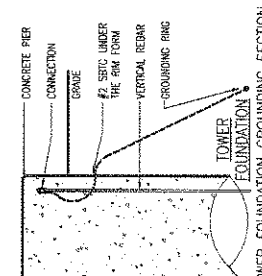
G-2



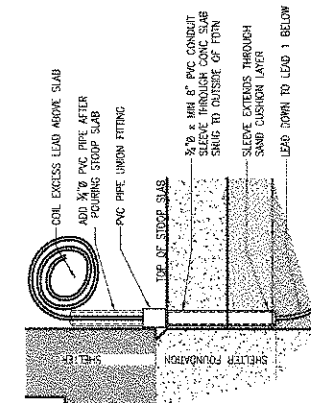
1 SHELTER HALO
SCALE: 1/4" = 1'-0"



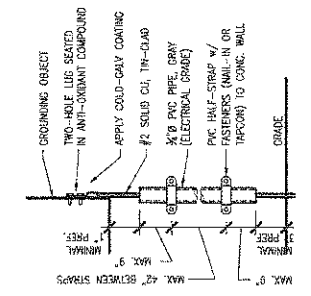
2 REBAR GROUNDING
SCALE: 3/8" = 1'-0"



3 TYPICAL CABLE BRIDGE
SCALE: 1/4" = 1'-0"



4 THRU CONC. STOOP DETAIL
SCALE: 1/16" = 1'-0"



5 CONDUIT DETAIL
SCALE: 1/16" = 1'-0"

NOT FOR
CONSTRUCTION

DESIGN
8872 VALLEY VIEW RD.
BENTON, AR 72015
WWW.DESIGN.EP.COM

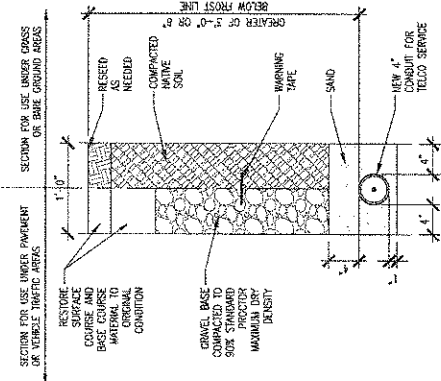
SBA
SBA COMMUNICATIONS
1000 S. MAIN ST. SUITE 200
BOSTON, MA 02108
PH: (617) 226-9457 FAX: (617) 226-3572

PROJECT
MN17702-B
BAD MEDICINE
VZW: MN05
BAD MEDICINE
STATE TRUNK HWY 113
PONSFORD, MN 56575

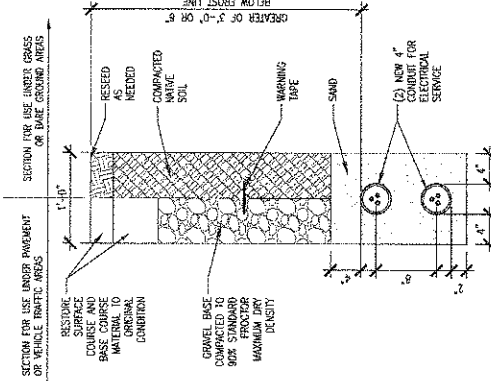
SHEET CONTENTS:
GROUNDING PLAN
GROUNDING DETAIL INDEX

DRAWN BY: S. CONLEY
DATE: 01/18/16
CHECKED BY: TAB
REVISED BY: TAB
REV. A: 01/22/16
REV. A.1: 02/05/16

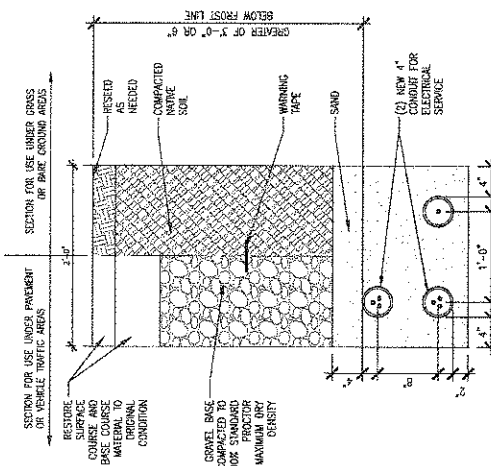
G-3



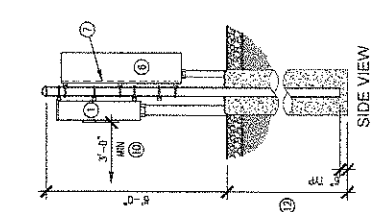
1 TELEPHONE TRENCH DETAIL
SCALE: 1" = 1'-0"



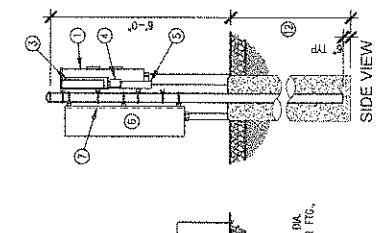
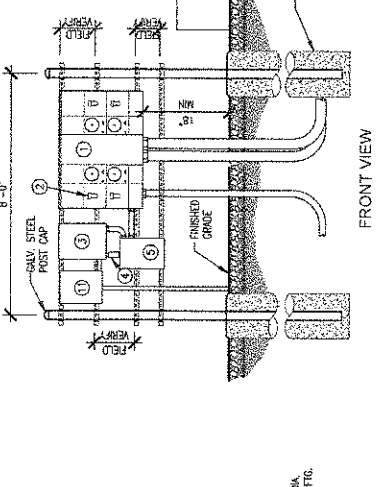
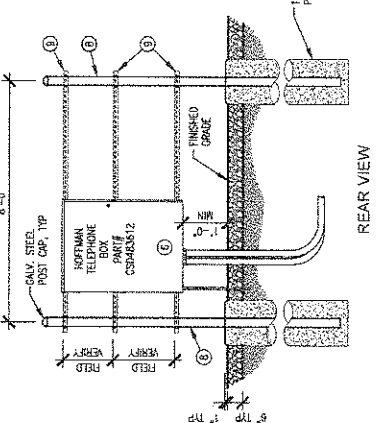
2 ELECTRICAL TRENCH DETAIL
SCALE: 1" = 1'-0"



3 JOINT UTILITY TRENCH DETAIL
SCALE: 1" = 1'-0"



4 H-FRAME DETAIL
SCALE: 1/4" = 1'-0"



BALLOON REFERENCE NOTES:

1. 600A, 120/240V, 1 PHASE, 2 WIRE, 4 POSITION METERING CENTER (200A MAX CIRCUIT BREAKERS) (SQUARE D CATALOG "COMET2500A", OR EQUAL)
2. 200 TENANT SERVICE DISCONNECT (SQUARE D CATALOG "COMET2500A", OR EQUAL)
3. 125A, 120/240V, 1 PHASE, 3 WIRE, 12 POSITION LOAD CENTER (SQUARE D 600 LOAD CENTER "Q0112L125SBL", OR APPROVED EQUAL)
4. 120/240V, 1-4 GANG COMMERCIAL GRADE OUTDOOR ELECTRICAL BOX #1/20A COMMERCIAL GRADE DUPLEX RECEPTACLE
5. 120/240V, 1 PHASE, 3 WIRE TRANSIENT VOLTAGE SURGE SUPPRESSOR (SQUARE D CATALOG "Y5500A", OR APPROVED EQUAL)
6. SINGLE DOOR TELCO ENCLOSURE (NOTMAN CATALOG "C30480512", OR APPROVED EQUAL)
7. 3/4" PLYWOOD BACK BOARD IN NOTMAN BOX
8. 5" MINIMUM GALVANIZED STEEL PIPE WITH PIPE CAP
9. HORIZONTAL SUPPORT MEMBER (UNTESTED PROOF, OR APPROVED EQUAL)
10. CONTRACTOR TO MAINTAIN 3'-0" MINIMUM CLEARANCE FROM METERING CENTER TO NEAREST CONSTRUCTION
11. TOWER LIGHTING CONTROLLER (NWR LIGHTING, INC. MODEL LUXEOLR, OR APPROVED EQUAL)
12. 5'-0" OR 6' BELOW FIRST FLOOR, WHICHEVER IS GREATER

DESIGN
9873 VALLEY VIEW RD
EDEN PRAIRIE, MN 55444
WWW.DESIGNPFC.COM

SBA
SBA COMMUNICATIONS
5800 BROOKER ROAD PARKWAY NW
P.O. BOX 1000
PA 19101-1000 FAX (610) 228-3572

PROJECT

MN17702-B
BAD MEDICINE
VZVW, MN05
BAD MEDICINE
STATE TRUNK HWY 113
PONSFORD, MN 55975

SHEET CONTENTS:
ENLARGED SITE UTILITY PLAN
SITE UTILITY PLAN

DRAWN BY:	S. GONZALEZ
CHECKED BY:	8/15/15
DESIGNED BY:	8/15/15
REV. A:	01/15/16
REV. B:	02/05/16

U-2

NOTE:
CONNECT FOUR (4) ALARMS
1. GEN RUN - BLUE/WHITE
2. GEN FAN - GREEN/WHITE
3. LOW FUEL - BROWN/WHITE
4. FUEL LEAK - ORANGE/WHITE
ALL ALARM WIRES SHALL BE RUN TO B6
& THROUGH BUAC PROTECTION
MODULE

PROVIDE 3/4" CONDUIT FROM
GENERATOR TO SHELTER
ENCLOSURE FOR TELCO
WIRING - (5) CAT 5 (4) PAIR
CABLES ALARM WIRES MUST
SUPPORT OUTDOOR OPERATOR
(CELL-1100)

NEW ONDC PROTECTION MODULE
INSTALL ON TELCO BOARD
PUNCH DOWN BOARD

NOTE:
CONNECT FOUR (4) ALARMS
1. GEN RUN - BLUE/WHITE
2. GEN FAN - GREEN/WHITE
3. LOW FUEL - BROWN/WHITE
4. FUEL LEAK - ORANGE/WHITE

1-1/2" CONDUIT FROM 1C/ATC TO GENERATOR FOR
MAIN WIRING - (5) #10U NEUTRAL & GROUND
120/240 VAC PER NEC & 3/4" CONDUIT FROM
1C/ATC TO GENERATOR FOR THE (2) 20 AMP AC
CIRCUITS, BLOCK HEATER & WATER CHANGER (5) #12
W/ GROUND

3/4" CONDUIT FROM 1C/ATC TO GENERATOR FOR THE
START CIRCUIT - PROVIDE (2) 16 GA CU WIRES

LAST 2" OF ALL CONDUITS AT
GENERATOR SHALL BE NOT
RIGID ATTACHED TO GENERATOR, TO
COMPENSATE FOR GENERATOR VIBRATION

METER POST/H-FRAME

PROPOSED/EXISTING
TRANSFORMER

CONDUIT BETWEEN
SERVICE PANEL OF
GENERATOR & 1C

TO EXTERNAL
GENERATOR

IN 2-1/2" CONDUIT TO METER
WITH SEP W/TER JARVIS AS REQUIRED

WORK SHALL BE PER NEC AND THE
GENERATOR INSTALLATION MANUAL

1

ONE-LINE RISER DIAGRAM

SCALE: NONE

2

TELCO ENTRY DETAIL - WEATHER TIGHT ENCLOSURE

SCALE: NONE

3

NOTES:

1. #8 THIN GREEN CABLE TO BE USED FOR THE GROUNDING CABLE.

2. EARTH GROUND SHALL BE TERMINATED TO THE COMPOUND/SITE EARTH GROUND.

3. IN-BUILDING AND WATER TOWERS, IF YOU ARE ATTEMPTING TO GROUND TO AN EXISTING GROUND BAR
WITHIN THE BUILDING OR WATER TOWER, SECURE LANDLORD APPROVAL PRIOR TO GROUNDING.

4. EARTH GROUND TERMINATION WILL NEED
TO BE PERFORMED. EARTH GROUND CABLE
SHALL BE TERMINATED TO THE
COMPOUND/SITE EARTH GROUND

5. PROPOSED 3/4" SCHEDULE 40 PFC
RISER CONDUIT FOR FIBER CABLE ONLY

6. PROPOSED 3/4" SCHEDULE 40 PFC
RISER CONDUIT FOR GROUND WIRE

7. PROPOSED #6 AWG THIN
GREEN GROUND WIRE

8. PROPOSED ARMORED FIBER CABLE

9. PROPOSED EM4108R (ELECTRIC MOTION
PART NUMBER) GROUND BAR
(6" X 1/2" INCLUDING MOUNTING BRACKET)

10. PROPOSED JUNCTION BOX
15" X 18" X 6" OR
12" X 12" X 4"

11. 4" OR OPENING INTO
BUILDING

12. HAVING SEVERING NEEDS
TO BE SEVERED BEFORE
IT ENTERS THE SHELTER

13. PROPOSED 2" SCHEDULE 40 PFC
RISER CONDUIT FOR FIBER CABLE ONLY

14. PROPOSED ARMORED FIBER CABLE

15. PROPOSED 3/4" SCHEDULE 40 PFC
RISER CONDUIT FOR GROUND WIRE

16. PROPOSED #6 AWG THIN
GREEN GROUND WIRE

17. PROPOSED EM4108R (ELECTRIC MOTION
PART NUMBER) GROUND BAR
(6" X 1/2" INCLUDING MOUNTING BRACKET)

18. PROPOSED JUNCTION BOX
15" X 18" X 6" OR
12" X 12" X 4"

19. 4" OR OPENING INTO
BUILDING

20. HAVING SEVERING NEEDS
TO BE SEVERED BEFORE
IT ENTERS THE SHELTER

21. PROPOSED 2" SCHEDULE 40 PFC
RISER CONDUIT FOR FIBER CABLE ONLY

22. PROPOSED ARMORED FIBER CABLE

23. PROPOSED 3/4" SCHEDULE 40 PFC
RISER CONDUIT FOR GROUND WIRE

24. PROPOSED #6 AWG THIN
GREEN GROUND WIRE

25. PROPOSED EM4108R (ELECTRIC MOTION
PART NUMBER) GROUND BAR
(6" X 1/2" INCLUDING MOUNTING BRACKET)

26. PROPOSED JUNCTION BOX
15" X 18" X 6" OR
12" X 12" X 4"

27. 4" OR OPENING INTO
BUILDING

28. HAVING SEVERING NEEDS
TO BE SEVERED BEFORE
IT ENTERS THE SHELTER

29. PROPOSED 2" SCHEDULE 40 PFC
RISER CONDUIT FOR FIBER CABLE ONLY

30. PROPOSED ARMORED FIBER CABLE

31. PROPOSED 3/4" SCHEDULE 40 PFC
RISER CONDUIT FOR GROUND WIRE

32. PROPOSED #6 AWG THIN
GREEN GROUND WIRE

33. PROPOSED EM4108R (ELECTRIC MOTION
PART NUMBER) GROUND BAR
(6" X 1/2" INCLUDING MOUNTING BRACKET)

34. PROPOSED JUNCTION BOX
15" X 18" X 6" OR
12" X 12" X 4"

35. 4" OR OPENING INTO
BUILDING

36. HAVING SEVERING NEEDS
TO BE SEVERED BEFORE
IT ENTERS THE SHELTER

37. PROPOSED 2" SCHEDULE 40 PFC
RISER CONDUIT FOR FIBER CABLE ONLY

38. PROPOSED ARMORED FIBER CABLE

39. PROPOSED 3/4" SCHEDULE 40 PFC
RISER CONDUIT FOR GROUND WIRE

40. PROPOSED #6 AWG THIN
GREEN GROUND WIRE



1023 VALLEY VIEW RD
EDEL PRATTE, MN 55244
(763) 255-3401
WWW.DESIGN.COM



SBA COMMUNICATIONS
2000 PLYMOUTH BLVD, SUITE 200
P.O. BOX 277
P.O. (281) 255-3401 FAX (801) 208 3079

PROJECT

MN17702-B
BAD MEDICINE
VZW-MN05
BAD MEDICINE
STATE TRUNK HWY 113
PONSFORD, MN 56575

SHEET CONTENTS:

ENLARGED SITE UTILITY PLAN
SITE UTILITY PLAN
SITE UTILITY PLAN

DESIGNED BY	S. GONIALEZ
CHECKED BY	G. H. B. 10/18/05
REV. A	01/22/06
REV. A.1	02/05/06

U-3

GENERAL ELECTRICAL NOTES:

1. SUBMITTAL OF BID INDICATES CONTRACTOR IS AWARE OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED UNDER THIS CONTRACT.
2. CONTRACTOR SHALL PERFORM ALL VERIFICATION OBSERVATION TESTS, AND EXAMINE WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN MAINTENANCE MANUAL TO THE ARCHITECT LISTING ALL MAINTENANCE FAULTS, REPAIRS, AND RECOMMENDATIONS.
3. REPAIRS SHALL BE VERIFIED WITH OWNER PRIOR TO REINSTALLATION.
4. THESE PLANS ARE DIAGRAMMATIC ONLY. FOLLOW AS CLOSELY AS POSSIBLE.
5. EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANEL, BOARD, PULLBOX, J-BOX, SWITCH BOX, ETC., IN COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH ACT (O.S.H.A.).
6. CONTRACTOR SHALL PROVIDE LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, COMPLETE AND PROPERLY OPERATIVE SYSTEM ENERGIZED THROUGHOUT AS INDICATED ON DRAWINGS, AS SPECIFIED HEREIN AND/OR AS OTHERWISE REQUIRED.
7. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY UNDERWRITER'S LABORATORY AND SHALL BEAR THE INSPECTION LABEL "J" WHERE SUBJECT TO SUCH APPROVAL. MATERIALS SHALL MEET WITH APPROVAL OF THE DIVISION OF ELECTRICAL ENGINEERING AND MECHANICAL ENGINEERING. CONTRACTOR MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA AND NFPA.

8. CONTRACTOR SHALL CARRY OUT HIS WORK IN ACCORDANCE WITH ALL GOVERNING STATE, COUNTY AND LOCAL CODES AND O.S.H.A.
9. CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING PERMITS.
10. CONTRACTOR SHALL COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF AND ACCEPTANCE BY OWNER. ANY WORK DEFECTIVE OR INCOMPLETE SHALL BE CORRECTED WITHIN THE PERIOD. THE PERIOD SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
11. ALL CONDUIT ONLY (C.O.) SHALL HAVE A PULL ROPE OR ROPE.
12. PROVIDE CONSTRUCTION ENGINEER WITH ONE SET OF COMPLETE ELECTRICAL AS INSTALLED DRAWINGS AT THE COMPLETION OF THE JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS, AND CIRCUITS.
13. ALL BROCHURES, OPERATING MANUALS, CATALOGS, SHOP DRAWINGS, ETC. SHALL BE TURNED OVER TO OWNER AT JOB COMPLETION.
14. USE T-WIP CONNECTIONS ON ALL MULTI-CIRCUITS WITH COMMON NEUTRAL CONDUCTOR.
15. ALL CONDUCTORS SHALL BE COPPER.
16. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING RATING NOT LESS THAN THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.
17. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY ALL APPLICABLE CODES AND DRAWINGS.
18. RECEPTACLES SHALL BE 20 AMPERE, 125 VOLT A.C., WHITE AS REQUIRED BY THE ARCHITECT OR APPROVED EQUAL.

19. WALL SWITCHES SHALL BE SINGLE-POLE, HUBBELL #1701 OR EQUIVALENT, WHITE AS REQUIRED BY THE ARCHITECT.
20. PLASTIC PLATES FOR ALL SWITCHES, RECEPTACLES, TELEPHONE AND BLANKED OUTLETS, SHALL HAVE ENGRAVED LETTERING WHERE INDICATED ON THE DRAWINGS.
21. WEATHERPROOF RECEPTACLES SHALL HAVE INACO #800, 1/2" RATED WORK COVERS.
22. WIRE AND CABLE CONDUCTIONS SHALL BE COPPER #12 AWG MINIMUM, NO BX OR HOMER CABLE IS PERMITTED UNDER ANY CIRCUMSTANCES ON DRAWINGS.
23. SCHEDULING SHALL BE AS SPECIFIED ON THE DRAWINGS.
24. ALL CONDUIT SHALL BE 1/2" TYPE.
25. CONDUIT:
 - A. SERVICE CONDUITS SHALL BE GRAY SCH40 PVC BARED MNL. 3/4", EXCEPT THAT SCH40 SHALL BE USED UNDER ROADWAYS AND IN LOCATIONS SUBJECT TO CASUAL IMPACTS. BENDS SHALL BE MADE USING "WIDE SWEEP" (12" MIN. RADIUS) ELBOW FITTINGS. ANY CODE-REQUIRED IRON STEEL CONDUIT SHALL BE ULL, GALVANIZED INSIDE & OUTSIDE. CONDUIT SHALL EXTEND MIN. 36" BELOW GRADE, WITH "SWEEP" ELBOWS (12" MIN.) ENDING IN PVC TRANSITION FITTINGS. IRON CONDUIT IN CONTACT WITH EARTH SHALL BE 1/2" LAP-WRAPPED WITH HUMIS PROCESS NO. 3 EXTENDING MIN. 12" ABOVE GRADE.

26. ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENTLY ENGRAVED PLATES, AND THAT HAS BEEN BANNED IN THE COURSE OF THE ELECTRICAL WORK.
27. PENETRATIONS IN THE RATED WALLS SHALL BE FIRE STOPPED IN ACCORDANCE WITH SECTION 712.
28. PENETRATIONS- INTERNATIONAL BUILDING CODE (IBC).
29. DRILLING OR CORING HOLES IN CONCRETE WALLS OR DECKS, WHETHER FOR FASTENING OR ANCHORING PURPOSES, BE SEARCHED FOR BY APPROPRIATE METHODS AND EQUIPMENT (X-RAY OR OTHER DEVICE) THAT CAN ACCURATELY LOCATE THEM. TENDONS OR REINFORCING MUST NOT BE DRILLED, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES.
30. UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT AND FALL POTENTIAL GROUNDING TESTS FOR APPROVAL. SUBMIT TEST REPORTS TO CONSTRUCTION ENGINEER. CLEAN PREMISES OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNHARMED CONDITION.
31. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTIONS TO THE TRANSFORMER AND THE UTILITY POWER TO THE SITE. THE TEMPORARY POWER AND ALL WORKUP COSTS TO BE PAID BY CONTRACTOR.
32. CONTRACTOR SHALL PROVIDE LABOR AND MATERIALS AS NECESSARY TO COMPLETE THE INSTALLATION OF ANY POWER LIGHTING SYSTEM DESCRIBED IN THE RFP.



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PROJECT

MN17702-B
BAD MEDICINE
VZW MN05
BAD MEDICINE
STATE TRUNK HWY 113
PONSFORD, MN 56575

SHEET CONTENTS:
ENLARGED SITE UTILITY PLAN
HAND HOLE PLAN
SITE UTILITY PLAN

DRAWN BY:	S. GONZALEZ
DATE:	8/18/16
CHECKED BY:	TAB
REV A:	01-23-16
REV A1:	02-05-16



February 10, 2016

Becker County Planning & Zoning
Julene Hodgson, Zoning Technician
915 Lake Avenue
Detroit Lakes, Minnesota 56501

Submitted Via Email: jmhodgs@co.becker.mn.us

SUBJECT: REQUEST FOR SECTION 106 CONSULTATION COMMENTS = INTERESTED PARTY

**SITE: BAD MEDICINE (SITE NUMBER: MN17702-B)
48008 HIGHWAY 113
PONSFORD (FOREST TOWNSHIP), BECKER COUNTY, MINNESOTA 56575
RAMAKER & ASSOCIATES, INC. PROJECT NUMBER: 31601**

Dear Ms. Hodgson:

Ramaker & Associates, Inc. (RAMAKER) was retained by SBA Communications Corporation (SBA), to complete a NEPA and Section 106 review of a proposed antenna and equipment installation to a proposed 300-foot lattice (self-support) tower (overall height with appurtenances of 310 feet). The proposed activity is located at 48008 Highway 113 in Ponsford (Forest Township), Becker County, Minnesota. The property is further identified as being located in the Northeast 1/4 of the Southeast 1/4 of the Northeast 1/4 of Section 5, Township 142 North, Range 37 West. The location of the property is depicted on the attached Long Lost Lake, Minnesota Quadrangle. The project is also identified as being located at: 47° 8' 48.82" North and 95° 22' 57.07" West.

The property consists of an approximately 80-foot by 125-foot area and is currently wood land. SBA is proposing to develop the property by constructing a 300-foot self-support tower and an equipment platform within a 60-foot by 84-foot fenced compound. It is worthwhile to note however, that the compound has also been designed to be suitable for additional wireless carrier equipment shelters/platforms and the associated tower-mounted appurtenances (antennas, mounts, RRUs, dishes, etc.). Utilities will be routed underground from the existing State Trunk Highway 113 right-of-way to the property. State Trunk Highway 113 adjoins the parent tract to the south. Access to the property is from an existing gravel driveway from State Trunk Highway 113. Site plans have been included to further define the proposed site development activities.

The host property and surrounding area were historically wooded land dating back to at least 1953. The surrounding area was historically wooded land dating back to at least 1953. State Highway 113 was historically south of the host property dating back to at least 1953. A few lake access roads leading south from State Route Highway 113 were constructed between 1953 and 1966. The eastern boundary of the host property was developed with an access drive in 2006. A house and garage was developed north of the host property in the early 2010s. Aerial photographs depicting the site and neighboring property's current land use are included.

The Section 106 review completed by RAMAKER considered both the Direct (area directly disturbed by the proposed undertaking) Area of Potential Effect (APE) and Indirect (viewshed area) APE. The APE reviews completed by RAMAKER concluded the proposed activities would have:

- **DIRECT APE:** When considering the Direct APE, RAMAKER consulted with Randy Dickson, Archaeologist with Midwest Archaeological Consultants, LLC. Mr. Dickson completed the appropriate due diligence as part of the Direct APE review so as to conclude that the proposed SBA undertaking would have "No Effect" to the Direct APE. A more detailed summary of these findings can be found in the Direct APE Summary report, completed by Mr. Dickson.
- **INDIRECT APE:** Using the FCC's guidance, RAMAKER reviewed a three-quarter mile search radius of the proposed undertaking so as to consider the potential for viewshed impacts to historic structures

within this search area. RAMAKER completed research, consultation, and a window survey of the Indirect APE in an attempt to qualify the presence of historic structures within the APE. Upon completion of this research, RAMAKER then reviewed and considered the potential for effect (as further outlined in the Indirect APE summary report) and concluded that the proposed SBA undertaking would have "No Adverse Effect" to the Indirect APE.

- ADDITIONAL CONSULTING PARTIES: RAMAKER has, or is in the process of, consulting with additional potentially interested consulting parties. As part of this consultation, RAMAKER has filed public notice in the Detroit Lakes Tribune newspaper. In addition, RAMAKER is soliciting comments from the Forest Township Clerk, the Becker County Planning & Zoning and the Becker County Historical Society. Specifically, RAMAKER is seeking input on the potential for impact to historic properties that might not have otherwise been considered as part of the aforementioned Section 106 due diligence survey.

RAMAKER has opined that the proposed SBA undertaking will have "No Effect" to the Direct APE and "No Adverse Effect" to the Indirect APE.

Following the FCC protocols and procedures, should you wish to be considered a consulting party or wish to receive the FCC Submission Package in its entirety, please feel free to contact RAMAKER with your request. As partial fulfillment of our client's responsibility under Section 106 as delegated by the FCC, we ask for your comments regarding the project's potential to adversely affect historic and/or culturally significant properties. Also, if you have any information regarding other potentially interested consulting parties, your input would be greatly appreciated. As the project is proposed for development in the very near future, we would appreciate receiving your comments in the next 30 days.

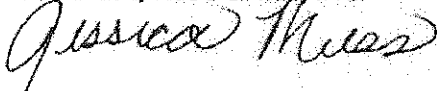
Please direct all future correspondence to:

Ramaker & Associates, Inc.
Jessica Miess, Environmental Specialist
855 Community Drive
Sauk City, Wisconsin 53583
Telephone: (608) 643-4100
Facsimile: (608) 643-7999
Email: jmiess@ramaker.com

If you have any questions or comments, please do not hesitate to contact our office.

Sincerely,

RAMAKER & ASSOCIATES, INC.



Jessica Miess, Environmental Specialist

Attachments: Site Location Maps

Cc: Forest Township Clerk
Carol Peterson, Township Clerk
37121 Red Top Road
Ponsford, Minnesota 56575

Becker County Historical Society
Corresponding Secretary
714 Summit Avenue
Detroit Lakes, Minnesota 56501