



# COUNTY OF BECKER

## *Planning and Zoning*

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314 ~ Fax: 218-846-7266

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### Becker County Planning Commission Meeting

**MONDAY** August 8th, 2016 ~ 7:00 P.M.

~ Tentative Agenda ~

#### I. Roll Call of Members

Minutes Approval for the July 12th, 2016 Meeting.

#### II. Old Business: **\*\*Tabled from the April hearing.**

1. **APPLICANT: Verizon Wireless** on Becker County tax forfeited property  
Lessee: SBA Communications Corp **Project Location:** (N of) E Bad Medicine  
Lk Rd **Property:** 127024000 **APPLICATION AND DESCRIPTION OF  
PROJECT:** Request a Conditional Use Permit for a 310' communication tower to  
include fence, equipment platform with cabinets, transformer and equipment for  
essential services. The proposal is on a leased area of 100'x100' on tax-forfeited  
property.

#### III. New Business:

1. **APPLICANT: Robert & Virginia Briard Project Location:** 38501 Co Hwy 56  
**Property:** 150213000 **APPLICATION AND DESCRIPTION OF PROJECT:**  
Request a Conditional Use Permit to put a third dwelling on a 397.15 acre parcel  
to be occupied by a grandson who is engaged in the day to day farming  
operations.
2. **APPLICANT: Justin Aschnewitz Project Location:** 39600 State Highway 87  
AND 40545 State Hwy 87 **Property:** 290146000 and 290149001  
**APPLICATION AND DESCRIPTION OF PROJECT:** Request an After the  
Fact Conditional Use Permit for sawmilling of logs, building of pallets, sale of  
firewood and processing of firewood in an Agricultural Zone. **\*\*This constitutes  
Industrial use of land or buildings for production, manufacturing, warehousing,  
storage and transfer of goods. Includes retail sales of manufactured or warehoused  
products.**

#### V. Other Business

- 1) **Tentative Date for Informational Meeting:**  
Wednesday, September 7th, 2016; 8:00 am; Zoning Office
- 2) **Other Business**

#### VI. Adjournment



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### PLANNING COMMISSION NOTICE OF PUBLIC HEARING

**\*\*RENOTIFICATION- THIS IS A TABLED APPLICATION FROM APRIL 12, 2016**

**\*\*HEARING DATE AND LOCATION\*\***

August 08, 2016 @7:00 PM

**3<sup>rd</sup> Floor Jury Assembly Room New Addition-Becker County Courthouse**  
Detroit Lakes, MN. 56502

APPLICANT:  
Verizon Wireless  
on Becker County tax forfeited property  
Lessee: SBA Communications Corp  
8051 Congress Ave  
Boca Raton, FL 33487

Project Location: (N) E Bad Medicine Lk Rd

#### APPLICATION AND DESCRIPTION OF PROJECT:

Request a Conditional Use Permit for a 310' communication tower to include fence, equipment platform with cabinets, transformer and equipment for essential services. The proposal is on a leased area of 100'x100' on tax-forfeited property.

LEGAL LAND DESCRIPTION: 127024000 Forest Township  
SW1/4 NW1/4 EX 4.17 AC FOR HWY, Section 03, TWP 142, Range 37

#### REFER TO BECKER COUNTY ZONING ORDINANCE

**Replies/Comments:** Interested parties are invited to submit to the Becker County Department of Planning, Zoning, and Land Use, written facts, arguments or objectives before the scheduled date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable. Replies may be addressed to:

**PLANNING AND ZONING DEPARTMENT**  
915 Lake Avenue  
Detroit Lakes, MN. 56501

**FAX Number: 218-846-7266**  
**email: [zoning@co.becker.mn.us](mailto:zoning@co.becker.mn.us)**

If you have questions about the Project, feel free to call 218-846-7314.

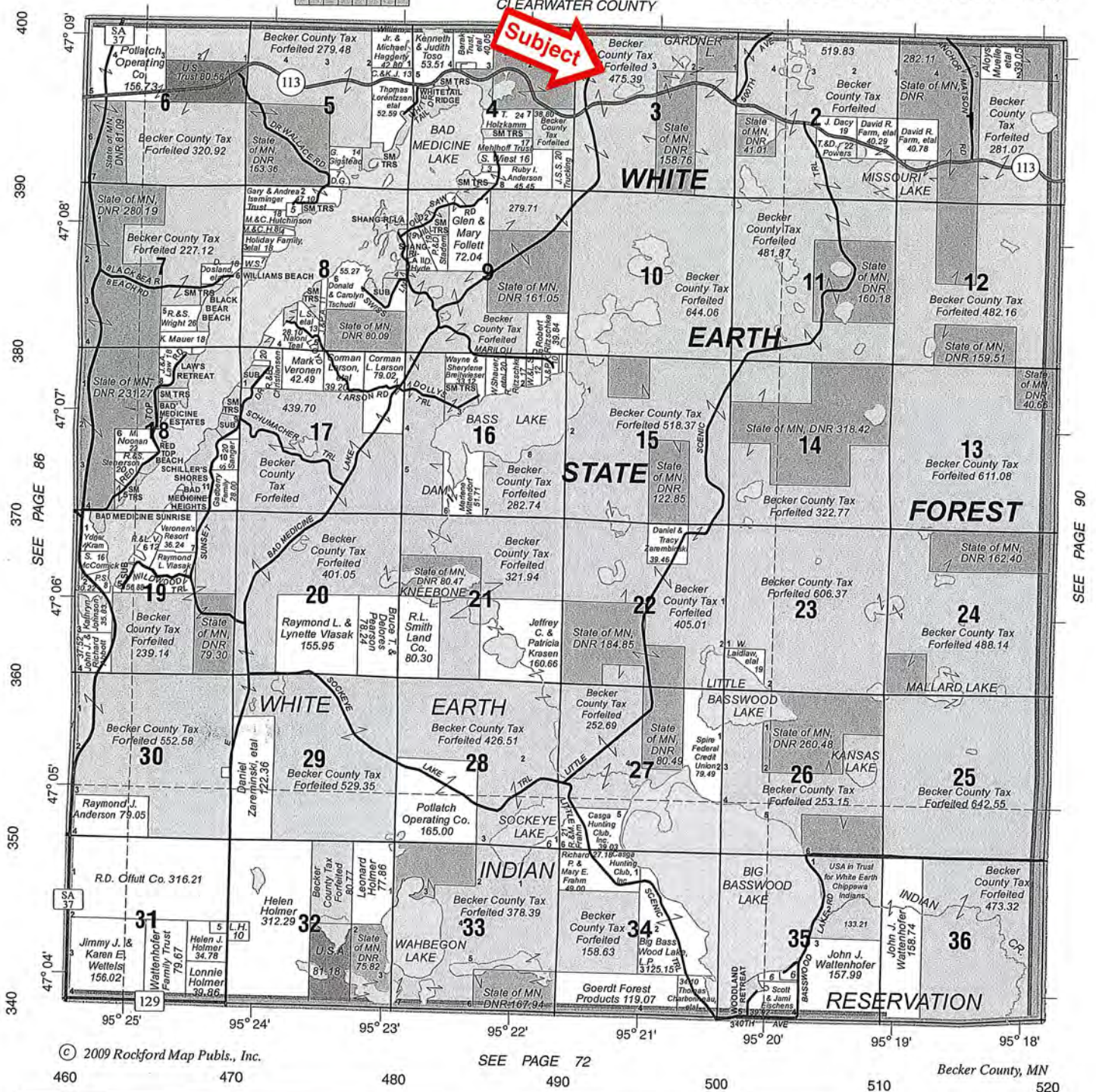
**Jurisdiction:** This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

**Regulatory Authority:** This Application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a Permit will be based on an evaluation of the probable impact including cumulative impacts, of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors which may be relevant to the proposal will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, in General, the Needs and Welfare of the People.  
**\*\* Weather conditions may change the Hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations or contact the Zoning Office, by 4:30 pm, for possible rescheduling of the Hearing.**



# FOREST

# T.142N.-R.37W.



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SEE PAGE 72

Becker County, MN



**David M. Schiller**  
Broker / Associate

**counselor**  
**DetroitLakes.com**

Office: 218-847-5025  
Fax: 218-844-5558  
Cell: 218-849-5478  
Home: 218-847-5223  
Email: dschiller@arvig.net  
421 Main St. W • P.O. Box 375  
Detroit Lakes, MN 56502  
www.daveschiller.com



**counselor**  
**realty.com**

P.O. Box 375  
Detroit Lakes, MN 56501  
Phone: 218.844.5557  
Fax: 218.844.5558  
Cell: 218.234.9734  
MikeRing@arvig.net  
CounselorDetroitLakes.com



**Mike Ring**  
ABR, CRS, GRI, Broker





~ CONDITIONAL USE APPLICATION ~  
**BECKER COUNTY PLANNING & ZONING**

915 LAKE AVENUE, DETROIT LAKES, MN 56501  
 PHONE (218) 846-7314 - FAX (218) 846-7266

PARCEL	
APP	CUP
YEAR	
SCANNED	

**PROPERTY OWNER INFORMATION** (as it appears on tax statement, purchase agreement or deed)

First name(s): Becker County Last name: \_\_\_\_\_  
 Mailing Address: 915 Lake Avenue City, State, Zip Detroit Lakes, MN 56501  
 Phone Number(s): 218-846-7311 Project Address: TBD  
 Parcel number(s) of property: 12.7024.000 Sect - Twp - Range: 3-142-37  
 Township Name: Forest Legal Description: Please see attached

**REASON FOR CONDITIONAL USE REQUEST:** Construction of a 300' Communications tower with a 10' lightning rod (overall height 310') and related Verizon Wireless antennas & equipment.

The information provided for this document is truthful and accurate to the best of my knowledge. I understand that this statement is null and void if any of the above information is not supplied or is inaccurate.

SIGNATURE OF APPLICANT

Alexander K. Novak

DATE

6/28/16

**OTHER INFORMATION NEEDED TO COMPLETE THE APPLICATION:**

1. A copy of the deed from the Recorder's Office;
2. Completed Site Application with sketch showing all setbacks, platted or surveyed dimensions of the lot and all existing and proposed buildings; parking area and all other materials deemed necessary.
3. **Non-refundable filing fee of \$326.00.** If in Cormorant Township add \$25.00 surcharge to the filing fee (\$351.00). **Make check payable to Becker County Zoning.**
4. **Is the conditional use permit request after the fact?** [ ] Yes [ ] No  
*If yes, after the fact application fee is an additional \$600.00.*



Office Use Only

This application is hereby (accepted) or (rejected) as presented.

SIGNATURE - ZONING ADMINISTRATOR

Julene Dodgson Zoning Technician

DATE

7/13/16







Application for Site Permit  
Becker County Planning and Zoning  
915 Lake Ave, Detroit Lakes, MN 56501  
Phone: 218-846-7314 Fax: 218-846-7266  
[www.co.becker.mn.us](http://www.co.becker.mn.us)

PARCEL	
APP	SITE
YEAR	
SCANNED	

Property will be staked by \_\_\_\_\_  
Date: \_\_\_\_\_

Please Print or Type All Information

Parcel Number (s)	Property (E911) Address	*911 Address Needed	Legal Description
12.7024.000			See Attached Drawings

Lake/River Name	Lake/River Class	Township Name	Section	TWP No.	Range
		Forest	03	142	037

Property Owner	Last Name	First Name	Mailing Address	Phone
Lessee:	SBA Communications Corp		8051 Congress Ave Boca Raton, FL 33487	
Contractor Name Lic #	To Be Bid			

Proposed Project (Check those that apply)

<input type="checkbox"/> New Dwelling	<input type="checkbox"/> Addition to Dwelling	<input type="checkbox"/> Replacement Dwelling*	<input type="checkbox"/> Mobile/Manfac. Home
<input type="checkbox"/> Attached Garage	<input type="checkbox"/> Detached Garage	<input type="checkbox"/> Storage Structure	<input type="checkbox"/> Addition to Non-dwelling
<input type="checkbox"/> Stairway	<input type="checkbox"/> Deck	<input type="checkbox"/> Recreational Unit	<input type="checkbox"/> Water Oriented Structure
<input type="checkbox"/> Fence	<input checked="" type="checkbox"/> Other Cell Tower	<input type="checkbox"/> Non Conforming Replacement (identify)	

\*Existing Dwelling to be removed prior to fence, equip platform, cabinets, equipment.

Onsite Water Supply ( ) Deep Well ( ) Shallow Well Well Depth \_\_\_\_\_  
MN Rules Chapter 4725 (MN well code) requires a 3' minimum structure setback to well  
N/A

Onsite Sewage Treatment System  
Type of System N/A Date of Installation \_\_\_\_\_ Last Date Certified \_\_\_\_\_  
Must have current certificate of compliance on septic system prior to issuance of a permit

Lot Information Shoreland ( ) Riparian ( ) Non Riparian (X) Non Shoreland (X)

Lot Area 566,280 sq ft or 13 acres Water Frontage -0- ft Bluff ( ) Yes (X) No  
Impervious coverage refers to anything water cannot pass through. Structures, areas covered by a roof, concrete, asphalt, Class 5, sidewalks, patio pavers, etc. should all be included in this calculation. Decks should be included in this calculation if they have plastic underlayment or impervious surface underneath. Anytime you exceed 15% lot coverage a stormwater management plan and/or mitigation is required. **INCLUDE PROPOSED STRUCTURES IN CALCULATION.**

**Please Note:** Unless otherwise provided, a minimum of a 12 foot wide driveway from the nearest road right of way to the proposed structure must be included in both your plan and impervious surface calculation.

Impervious Surface	Dimensions	Sq. Footage	Impervious Surface	Dimensions	Sq. Footage
On property			On property		
Ex: Patio	10 x 12	120			
DRIVEWAY					
Tower Foundation	8x8 (3)	192			
Platform Foundation	2x2 (6)	24			
Total Impervious Material					216

Impervious Lot Coverage  $\frac{216}{360,000} = .00060 \times 100 = 0.06\%$   
Total Impervious Lot Area Impervious Coverage Percentage

Topographical Alteration/Earth moving

( ) None ( ) 10 cubic yards or less ( ) 11- 50 cubic yards (X) over 50 cubic yards  
Project over 50 cubic yards a storm water management plan must be included.



Characteristics of Proposed Dwelling/Dwelling Additions/Attached Garage/Decks		Cost of Project
( ) Dwelling ____ ft by ____ ft ( ) Attached Garage ____ ft x ____ ft		\$ _____
Outside Dimension ( ) Deck/Patio ____ ft x ____ ft ( ) Addition to existing ____ ft x ____ ft		
Setback to Side Lot Line ____ ft & Rear Lot Line ____ ft	Setback to Road Right of Way ____ ft	
Setback to Bluff _____	Type of road _____	
Setback to Wetland _____	Is wetland protected ( ) Yes ( ) No	
Setback to OHW (straight horizontal distance) _____	Elevation above OHW (Straight vertical distance) _____	
Setback to septic tank _____	Setback to drainfield _____	
Total No. Bedrooms _____	Maximum height proposed _____ # of Stories _____	
Roof Change ( ) Yes ( ) No	Basement ( ) Yes ( ) No Walkout Basement ( ) Yes ( ) No	

Characteristics of Proposed Non Dwelling/Non Dwelling Additions/Detached Garages/Storage Sheds		Cost of Project
( ) Garage ____ ft by ____ ft ( ) Storage Shed ____ ft x ____ ft (✓) Fence 65 ft long x 8' high (X) Other Platform 14 ft x 9'4" ft + equipment & cabinets		
Outside Dimension ( ) Addition to existing structure ____ ft x ____ ft ( ) Fence 65 ft x 65 ft		
Setback to Lot Line ____ ft & Rear Lot Line ____ ft	Setback to Road Right of Way 192 ft	\$ 120,000
Setback to Bluff _____	Type of road _____	
Setback to Wetland _____	Is wetland protected ( ) Yes (✓) No	
Setback to OHW (straight horizontal distance) _____	Elevation above OHW (Straight vertical distance) _____	
Setback to septic tank _____	Setback to drainfield _____	
Roof Change ( ) Yes (✓) No	Maximum height proposed Tower 310' # of Stories _____	
Bathroom proposed ( ) Yes (✓) No	Sleeping Quarters proposed ( ) Yes (✓) No	
*Garages and storage sheds cannot contain amenities for independent human habitation		

Characteristics of Proposed Water Oriented Structure*	Cost of Project \$
( ) Stairway ( ) Deck ( ) Boathouse ( ) Screen Porch ( ) Gazebo ( ) Storage Structure	_____
Outside Dimension ____ ft by ____ ft	Sq ft _____
Setback to Lot Line ____ ft & ____ ft	Setback to Bluff _____
Setback to OHW (straight horizontal distance) _____	Elevation above OHW (Straight vertical distance) _____
Setback to septic tank _____	Setback to drainfield _____
Maximum height proposed _____	
*Sleeping facilities or water supplies are not permitted in these structures	

THIS IS A SITE PERMIT ONLY AND DOES NOT CONSTITUTE A BUILDING PERMIT  
AS SET FORTH IN MN STATE STATUTES.

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge. I also understand that, once issued, a permit is valid for a period of one (1) year from the date of issuance. If my property is located within the shoreland district, I understand that it is my responsibility to inform the Planning & Zoning Office once the building footings have been constructed. A Site Permit may be revoked at any time upon violation of said Ordinances and approved setbacks. Any changes to this site permit results in nullification of this permit and a new permit will have to be obtained.

Signature

Date



June 28, 2016

Julene Hodgson  
Zoning Technician  
Becker County Planning & Zoning  
915 Lake Avenue  
Detroit Lakes, MN 56501



**RE: Conditional Use Permit Application for SBA Communications and Verizon Wireless, APN 12.7024.000**

Dear Julene:

Please see the attached Application for a Conditional Use Permit for SBA and Verizon Wireless' proposed facility on Parcel 12.7024.000, being purchased by Becker County

**Project Description**

SBA Communications is proposing to construct a 300' self-support tower on the above-referenced parcel. The subject property is zoned Agricultural and is currently undeveloped. The surrounding neighborhood is similar in character to the subject property.

The function of this site for Verizon will be that of overall coverage. As detailed on the enclosed drawings, Verizon will be mounting their antennas at 296'. This tower will be engineered to accommodate at least three additional tenants. This will eliminate the need for another tower in this immediate area in the future. No existing or approved towers or commercial/industrial buildings within a two-mile radius meet the needs of Verizon's Radio Frequency (RF) engineers, therefore, co-location is not an option in this case.

We feel that this proposal complies with the purpose of the Becker County Zoning Ordinance as stated in Section 18: "To accommodate the communications needs of residents and businesses while protecting the public health, safety and general welfare."

Our proposal conforms to all of the requirements of a Conditional Use Permit in Becker County. We have included a copy of Verizon's search area map, noting the location of our proposed site. Our proposed location represents a site that is (1) leasable, (2) buildable (3) meets the client's RF needs and (4) has a willing landlord and (5) meets all the requirements of the local zoning code.

The tower itself is proposed at 300', with a 10' lightning rod, for an overall height of 310'. The tower can be engineered to have a fall zone of 50%, or 150' in any direction. We are happy to provide a certified letter from an engineer stating that.

**PH:847-430-3547**

**FAX:847-430-3549**

**Novation Group Consulting, Ltd.  
132 S Delphia Ave  
Park Ridge, IL 60068**





**Co-location**

The proposed tower will be owned by SBA Communications Corporation and will actively be marketed to other carriers to invite co-location. From SBA's website:

SBA Communications Corporation (SBA) is a leading independent owner and operator of wireless communications infrastructure across North, Central and South America. Founded in 1989 and headquartered in Boca Raton, Florida, SBA is listed on NASDAQ under the symbol: SBAC.

By "Building Better Wireless", SBA generates revenue from two primary businesses - site leasing and site development services.

In our site leasing business, we lease antenna space on our multi-tenant towers and other structures to a variety of wireless service providers under long-term lease contracts.

Our site development business offers wireless service providers and operators assistance in developing their own networks through site acquisition, zoning, construction and equipment installation.

We look forward to working with you. If you have any questions regarding our application, please feel free to call me at 847-644-6300 or email me at [Alex@NovationGroup.com](mailto:Alex@NovationGroup.com).

Sincerely,

*Alex*

Alexander Novak

**PH:847-430-3547**

**Novation Group Consulting, Ltd.  
132 S Delphia Ave  
Park Ridge, IL 60068**

**FAX:847-430-3549**



**Sworn Statement:**

"I declare under penalty of perjury that the aforementioned is true."

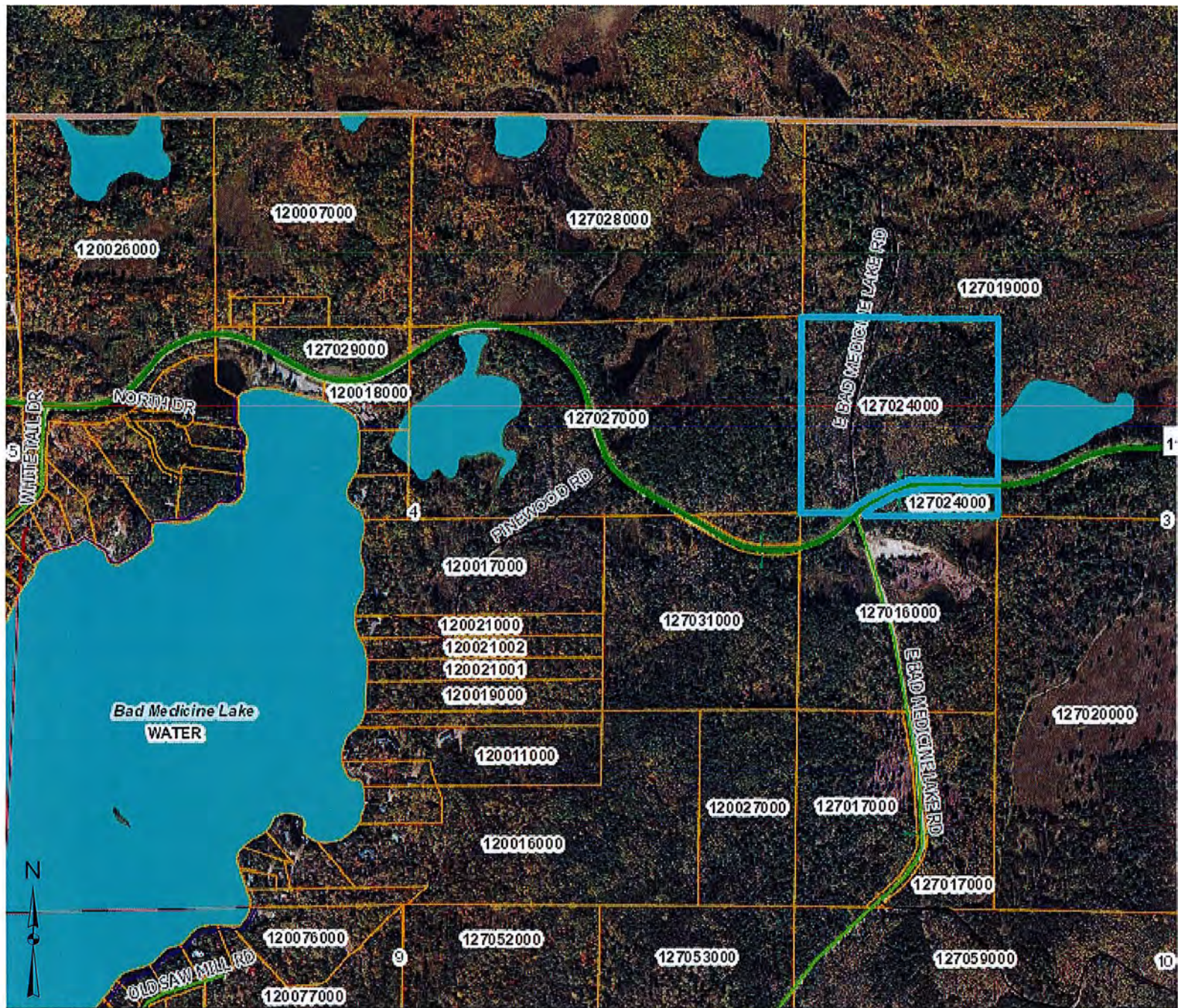
Alexander K. Novak  
Declarant/Applicant

**PH:847-430-3547**

**Novation Group Consulting, Ltd.  
132 S Delphia Ave  
Park Ridge, IL 60068**

**FAX:847-430-3549**





These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

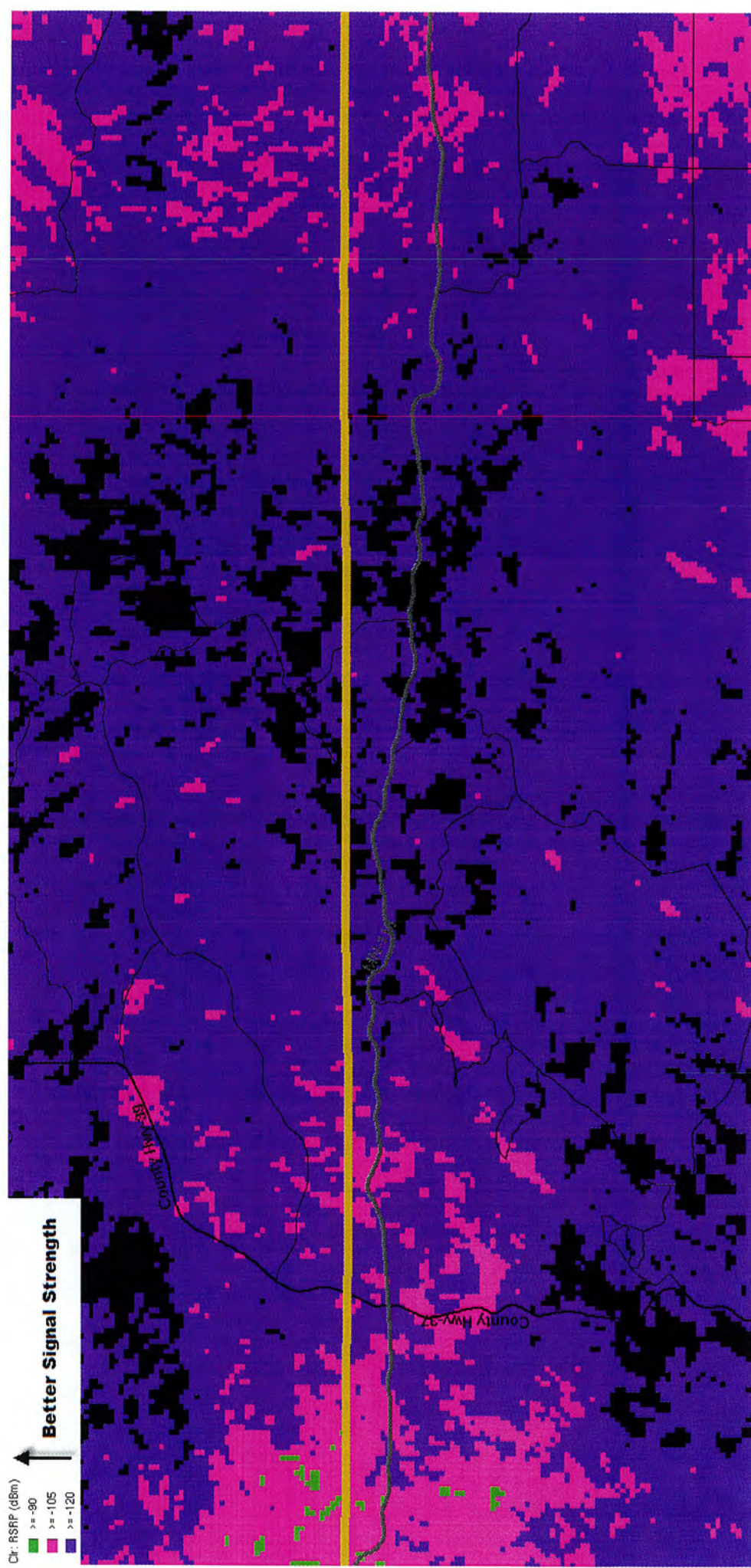
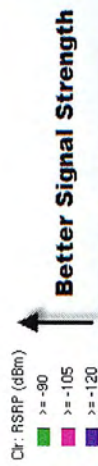
12.7024.000

1:11,521

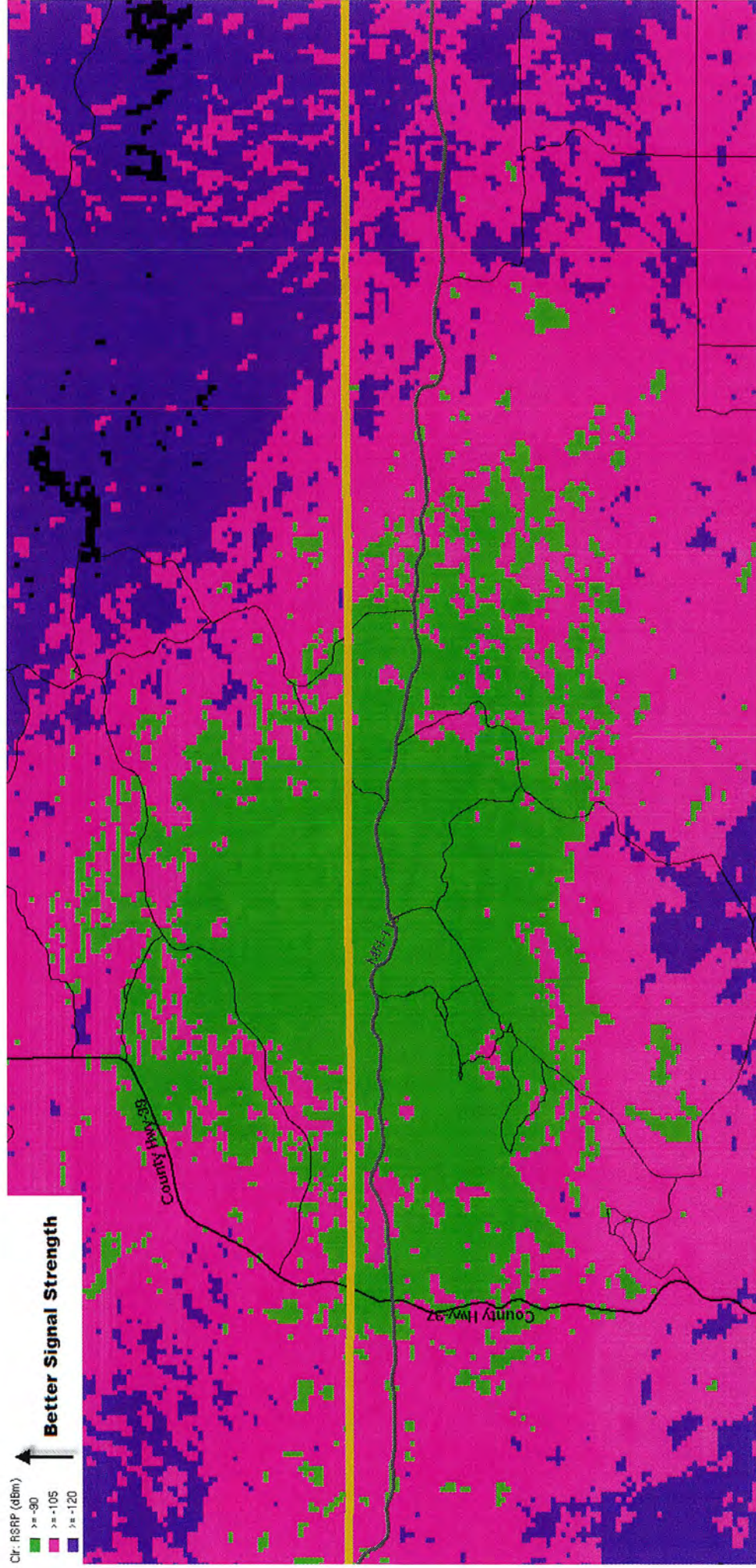
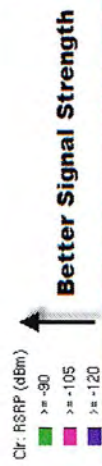
Date

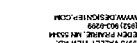
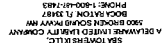
This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.









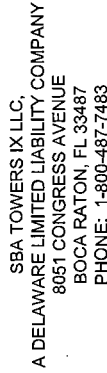
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/VZW: MN05 BAD MEDICINE

STATE TRUNK HWY NO. 113  
PONSFORD, MN 56575

DRAWN BY:	SG
CHECKED BY:	TAB
DATE:	06-24-16

**SHEET TITLE**  
**TITLE SHEET**

T-1  
SHEET NUMBER

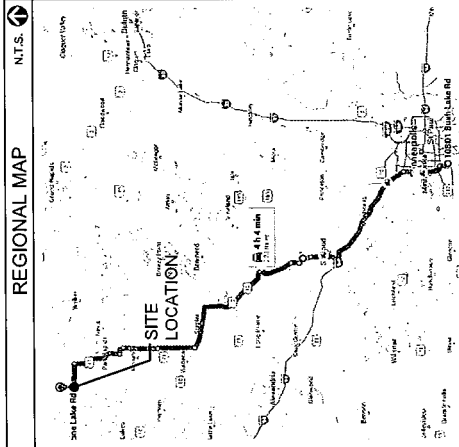
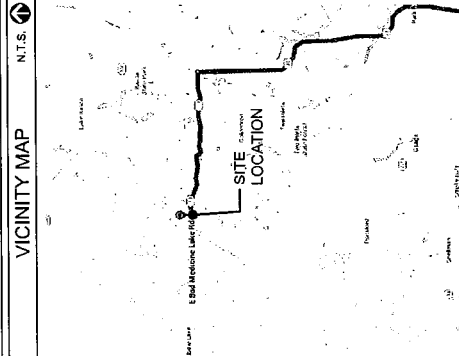
SITE I.D.  
MN17702-B

E911 ADDRESS  
E BAD MEDICINE LAKE RD,  
PONSFORD, MN 56575

PROJECT TYPE  
PROPOSED 300' SELF-SUPPORT TOWER

**ARCHITECTURAL - ENGINEERING FIRM:**  
DESIGN I  
9973 VALLEY VIEW ROAD, EDEN PRAIRIE, MN 55544  
CONTACT: TATE BRANDT  
PHONE: (952) 903-9264

**SURVEYING FIRM:**  
WSN  
610 FLOMORE STREET, PO BOX 1028, ALEXANDRIA, MN 56308  
CONTACT: SHAWN M. KUPCHO  
PHONE: (320) 762-8149 FAX: (320) 762-0263



FROM LOCAL CITY OR NEAREST MAJOR HIGHWAY INTERSECTION:  
DIRECTIONS: GET ON US-169 N FROM LINDSTROM DR AND BLOOMINGTON FERRY RD FOR 2 MI.  
FOLLOW I-494 W AND US-10 W TO MN-210E IN MOTLEY FOR 133 MI. TAKE MN-64 N AND CO HWY 18  
COUNTY 18 TO US-71 N IN ARAGO FOR 65.7 MI. TURN ONTO US-71 N FOR 11.2 MI. TURN WEST  
ONTO MN-113 W FOR 11.6 MI. SITE WILL BE ON THE RIGHT SIDE.

SITE NUMBER:	2014-1054447
SITE NAME:	BAD MEDICINE
SITE ADDRESS:	E BAD MEDICINE RD, PONSFORD, WI 56575
COUNTY:	BECKER COUNTY
LAND OWNER:	BECKER COUNTY
APPLICANT:	MARY E. HENDRICKSON 2181 846-7311 LAND MEASURER
CONTACT PERSON:	SBC TOWERS IX LLC 6051 CONGRESS AVENUE BOCA RATON, FL 33487
LATITUDE:	SHAHZAD MAHQOM (305) 756-4538
LONGITUDE:	97° 08' 44.011" N (FROM 1A)
LAT/LONG TYPE:	97° 21' 33.910" W (FROM 1A)
CURRENT ELEVATION:	DEGREES MINUTES AND SECONDS 1617.7 AMSL (NAVDB8)
CURRENT ZONING:	ZONING AUTHORITY
PARCEL No.:	12.7024.000

SHEET	DESCRIPTION	REV.
T-1	TITLE SHEET	A
C-1	ENGINEERING SITE PLAN	A
C-2	SITE DETAILS AND SPECIFICATIONS	A
C-3	FENCE DETAILS	A
C-4	STREET DETAILS	A
ANT-1	STREET LIGHTS, SITE PHOTOS	A
ANT-2	ANTENNA COAX KEY, MOUNTING DET., CABLE BRIDGE PLAN	A
E-1	UTILITY ROUTING PLAN	A
E-2	SITE GROUNDING PLAN	A
E-3	GROUNDING DETAIL	A
E-4	SINGLE LINE DIAGRAM & PANEL SCHEDULE	A
E-5	ELECTRICAL AND GROUNDING DETAILS	A
E-6	GROUNDING DETAILS	A
GN-1	GENERAL NOTES	A
LS-1	PLAT OF SURVEY	A
	SURVEY ATTACHMENTS	
	FULL SCALE PRINT IS ON 22"x34" MEDIA	

**HANDICAPPED REQUIREMENTS:**  
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION  
HANDICAPPED ACCESS REQUIREMENTS NOT REQUIRED

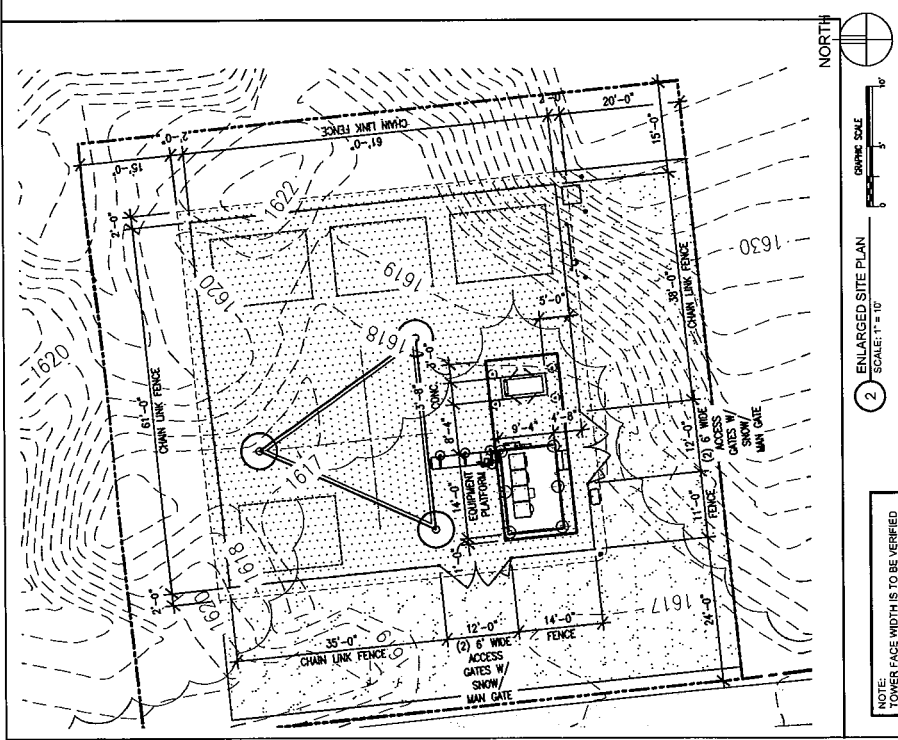
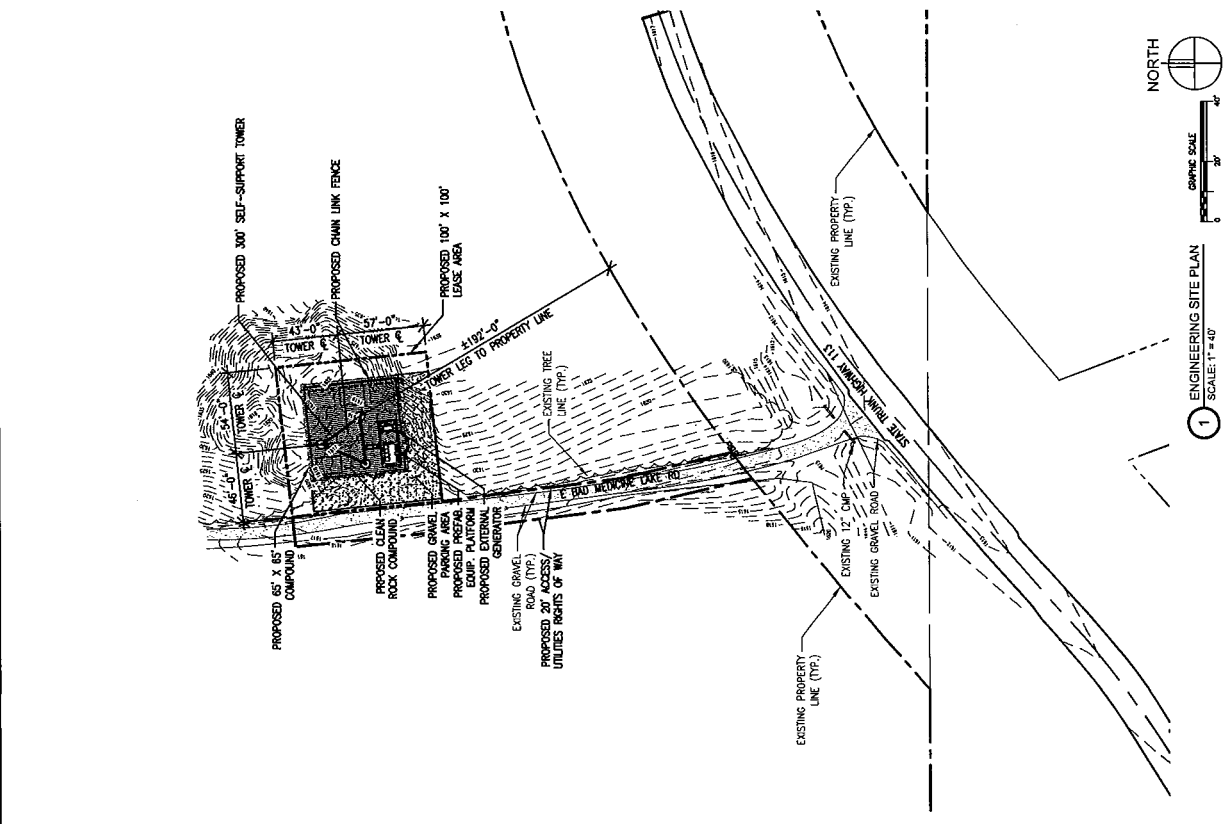
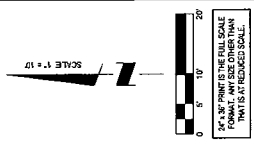
**PLUMBING REQUIREMENTS:**  
FACILITY HAS NO PLUMBING

**POWER COMPANY:**  
ITASCA-MANTRAP CO-OP ELECTRICAL ASS'N.  
PARK RAPIDS, MN 56470  
**CONTACT:** KEVIN SCHWARTS  
**PHONE:** (218) 732-3377

**FIBER COMPANY:** T.B.D.

**NOTE: UTILITY COORDINATION IS NOT FINALIZED. DO NOT PROCEED WITH CONSTRUCTION UNTIL POWER / TELCO / FIBER HAVE BEEN CONFIRMED.**





NOTE: TOWER FACE WIDTH IS TO BE VERIFIED BY TOWER MANUFACTURER DRAWINGS PRIOR TO LAYING OUT FOUNDATION.

PAVEMENT MATERIALS AND QUANTITIES	
ACCESS ROAD	25,100 S.Y.
8" OF 3/4" CRUSHED AGGREGATE WITH FINES, RESULTING IN 4" MINIMUM PROFILE LINE HYDRO SECTANTILE OR APPROVED EQUAL	
LEASE SITE	12,675 S.Y.
3" THICK 407 WASHED STONE (TOP) 3" AGGREGATE BASE COURSE (BOTTOM) 3" AGGREGATE SUB-BASE COURSE (BOTTOM) 24" L.S. OF FENCING	
THE CONTRACTOR SHALL ALSO USE A SEPARATE UNIT UNSUITABLE MATERIAL AND HAIL-IN GRANULAR BACKFILL UNDER THE ACCESS DRIVE AND/OR APRON.	

SBA  
SBA TRADING LLC  
2000 BROADWAY, SUITE 100  
POMONA, CA 91768  
PHONE: 909-461-1433

DESIGN 1  
6913 WALKER RD.  
BOONVILLE, MO 64608  
PHONE: 660-881-1000

NO.	DATE	BY	DESCRIPTION
1	06-26-18	SG	ISSUED FOR REVIEW

MN17702-B  
BAD  
MEDICINE  
(NZN: MN05 BAD MEDICINE)  
STATE TRUNK HWY NO. 113  
PONSFORD, MN 56575

DRAWN BY:	SG
CHECKED BY:	TAB
DATE:	06-26-18
PROJECT R:	201802447

SHEET TITLE  
ENGINEERING  
SITE PLAN

SHEET NUMBER  
C-1

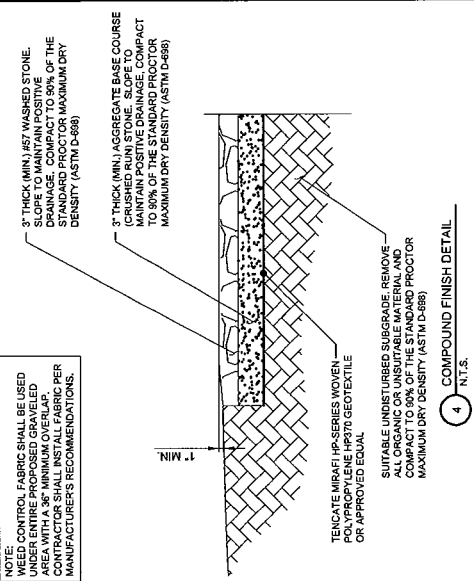
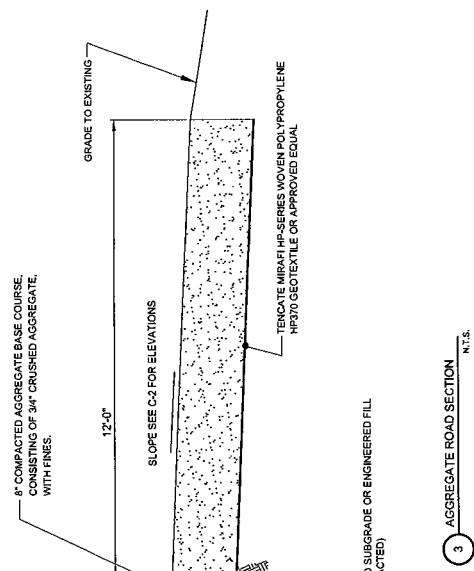
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1. UNDESIRABLE PAVEMENT MATERIAL SHALL BE STRIPPED OF ALL TOPHOLE AND UNDESIRABLE MATERIAL AND INCASED OR FILLLED TO TOPHOLE TO PREVENT FRESH PAVEMENT FROM BEING MIXED WITH UNDESIRABLE MATERIAL.
2. FILL OF DESIRED MATERIAL SHALL BE IN LIFTED PLACES AND MATERIAL SHALL BE COMPACTED TO A MINIMUM 95 PERCENT OF MODIFIED PROCTOR DENSITY.
3. THE QUANTITIES CONTAINED IN THESE DOCUMENTS ARE APPROPRIATE FOR THE PROPOSED PROJECT AND THE CONTRACTOR SHALL BE RESPONSIBLE IN DETERMINING ALL QUANTITIES AND TO BECOME FAMILIAR WITH THE SITE AND SOIL CONDITIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY POSITIVE PERMISSIONS AT THE CONCLUSION OF EACH WORKING DAY.
5. THE PAVING CONTRACTOR IS RESPONSIBLE FOR THE PAVING, SUBGRADE PREPARATION, PAINT, AND RELATED WORK INHERENT AND SURFACE AND ALL UNDERLAYS AND SHALL BE RESPONSIBLE FOR COMPLETION WITH THE PAVING OPERATION.
6. UPON COMPLETION OF THE PAVING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING ADJACENT AREAS AND FOR THE PROTECTION OF THE IMPROVEMENTS.

1. REASONABLE CARE MUST BE TAKEN TO MINIMIZE SOIL EROSION. REFER TO PROCEDURES AND STANDARDS FOR HUMAN SOIL EROSION AND CONSTRUCTION EROSION. PREPARED BY THE U.S. CANAL AND CONSERVATION SERVICE.
2. ALL UNITS, STRUCTURES, PILES, SWALES, AND ROADS SHALL BE KEPT CLEAR AND FREE OF DIRT AND SOIL.
3. STOCKPILES SHALL HAVE A BENCH OF TRENCH AROUND THE PERIMETER TO PREVENT SOIL EROSION. STOCKPILES MUST BE SUFFICIENTLY WIDE TO ALLOW MINIMUM DISTANCE 1' MUST HAVE SUFFICIENT VEGETATION TO CONTROL WATER AND WIND EROSION.
4. STRAW BALES (THAT) ARE USED SHALL BE PLACED AROUND AND IN THE CENTER OF THE STOCKPILE. THEY MUST BE PLACED DURING THE COURSE OF CONSTRUCTION.
5. SOIL FENCE TO BE CONSTRUCTED ALONG THE DOWN SLOPE OF THE CONSTRUCTION AREA.
6. SOIL EROSION CONTROL DEVICES (WITHIN THE QUANTITY OF THIS PROJECT).
7. REPAIR SOIL EROSION CONTROL DEVICES WITH SOIL AND TOPSOIL AT THE COMPLETION OF THE PROJECT.
8. ALL ADDITIONAL (ROADWAYS) SHALL BE KEPT CLEAR AT ALL TIMES.
9. ADDITIONAL SOIL EROSION CONTROL MEASURES SHALL BE UNDESIRABLE IF DEEMED NECESSARY BY THE EROSIONING INSPECTOR DURING THE

TEMP SITE SIGNAGE  
G.C. TO POST THE TEMP SIGN  
PRIOR TO SITE CONSTRUCTION

### PERMANENT FENCE SIGNAGE LAYOUT

[illegible]

(VZW: MN05 BAD MEDICINE)  
STATE TRUNK HWY NO. 113  
PONSFORD, MN 56575

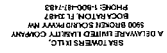
DRAWN BY:	SG
CHECKED BY:	TAB
DATE:	06-24-16
PROJECT #:	20141054447

**SHEET TITLE**  
**SITE DETAILS**  
**& SPECIFICATIONS**

**SHEET NUMBER**

**C-2**





9973 VALLEY VIEW RD.  
ECON PARKWAY, RM 5534  
(857) 803-8289  
WWW.DESIGNIEP.COM

[illegible]

MN17702-B

BAD  
MEDICINE

(VZW: MN05 BAD MEDICINE)

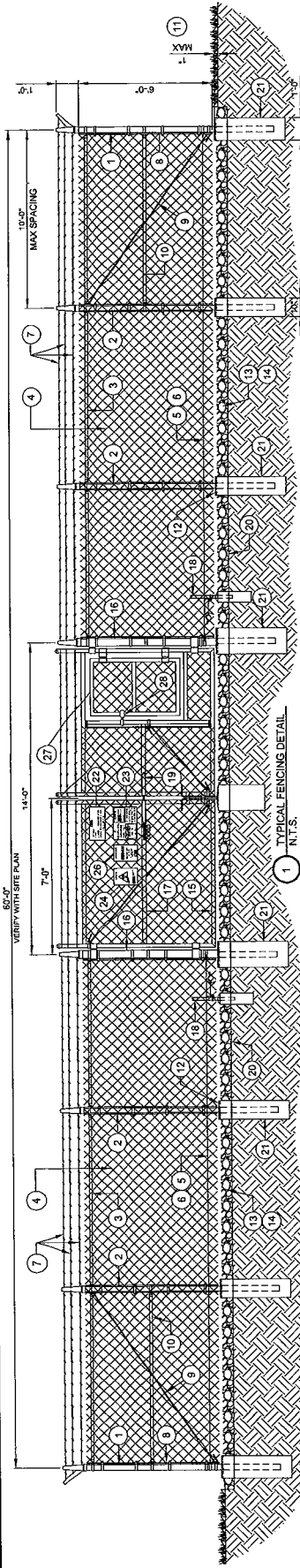
STATE TRUNK HWY NO. 113  
PONSFORD, MN 56575

DRAWN BY:	SG
CHECKED BY:	TAB
DATE:	06-24-16
PROJECT #:	2014105447

**SHEET TITLE**  
**FENCE DETAILS**

SHEET NUMBER

3

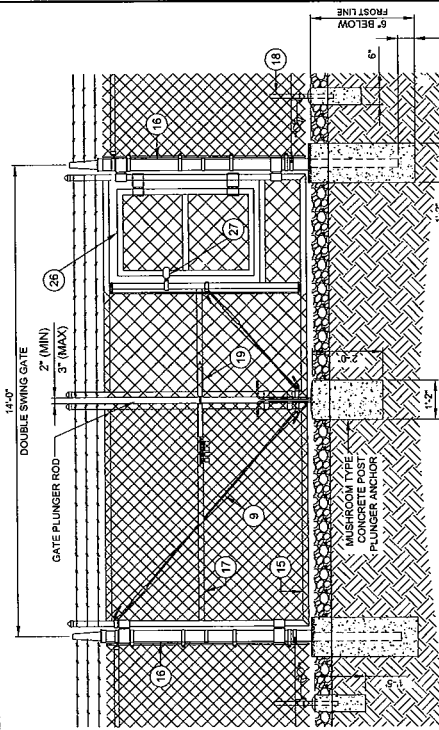


**BALLOON REFERENCE NOTES:**

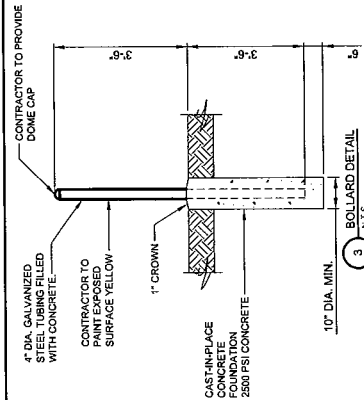
- 1 CORNER, END OR PULL POST; 3" O.D., SCHEDULE 40 PIPE.
- 2 LINE POST; 2 1/2" NOMINAL SCHEDULE 40 PIPE, PER ASTM-F1083.
- 3 LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" O.C.
- 4 TOP RAIL: 1-5/8" O.D., STANDARD ROUND PIPE, PER ASTM-F1083.
- 5 FABRIC: 9 GA CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
- 6 TIE WIRE: 9 GA ALUMINUM, A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED 12" O.C. POSTS/GATES AND AT RAIL/WIRE.
- 7 TENSION WIRE: 9 GA ALUMINUM.
- 8 BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO MATCH WITH FABRIC, 14 GA 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
- 9 3/16" x 3/4" (MIN) FULL HEIGHT STRETCHER BAR.
- 10 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- 11 FENCE CORNER POST BRACE, 1-5/8" NOMINAL PIPE.
- 12 1" MAXIMUM CLEARANCE FROM FINISH GRADE.
- 13 FENCE POST FOUNDATION TO BE 1" FINISH ABOVE FINISHED GRADE.
- 14 8" COMPACTED BASE MATERIAL.

**GENERAL NOTES:**

1. INSTALL FENCING PER ASTM F 567
2. INSTALL SWING GATES PER ASTM F-300
3. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED & REQUIRED.
4. POST & GATE PIPE ARE INDUSTRY STANDARDS. ALL PIPES TO BE GALVANIZED (NOT DIP ASTM A130 GRADE "A" STEEL). ALL GATE FRAME SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL).
5. ALL OPEN POSTS SHALL HAVE END-CAPS.
6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.
8. MUSHROOM ANCHOR & PLUNGER REQUIRED FOR GATE.
9. G.C. RESPONSIBLE FOR SBA GATE LOCK



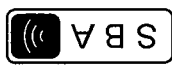
2 DOUBLE-SWING GATE DETAIL  
NTS




3 BOLLARD DETAIL NTS



4  
EXISTING ACCESS ROAD  
FACING NORTH FROM APPROACH



SBA  
SBA FINANCIAL SERVICES, LLC  
10000 UNIVERSITY AVENUE  
SUITE 1000  
MINNEAPOLIS, MN 55434  
PHONE: 1-800-451-7453



DESIGN  
6973 VALLEY VIEW RD.  
BLOOMINGTON, MN 55425  
WWW.DESIGNHILL.COM

REVISIONS	
NO.	DESCRIPTION
1	BASED ON REVIEW
2	
3	
4	
5	
6	
7	
8	
9	
10	

MN17702-B

BAD MEDICINE

(VZW: MN05 BAD MEDICINE)

STATE TRUNK HWY NO. 113

PONSFORD, MN 56575

DRAWN BY: SG

CHECKED BY: TMB

DATE: 06-24-15

PROJECT #: 2014125447

SHEET TITLE

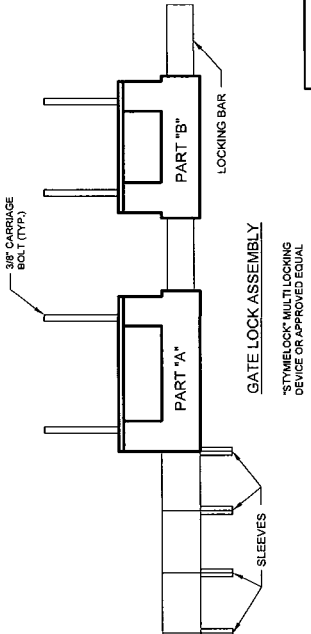
FENCE DETAILS

SHEET NUMBER

C-4

**STYMELOCK INSTALLATION**

1. DRILL 3/8" HOLES IN THE GATE LEAF USING THE GATE DIMENSIONS PROVIDED.
2. SLIDE THE CARRIAGE BOLTS IN THE SLOTS ON THE BACK OF PART "B" AND PUSH THE BOLTS THROUGH THE HOLES DRILLED IN THE GATE FIGURE. PUT THE NUT AND THE LOCKWASH ON AND TIGHTEN AND CUT THE EXCESS BOLT OFF. DO THE SAME WITH PART "A".
3. ADD THE NUMBER OF SLEEVES NEEDED FOR THE NUMBER OF LOCKS AND SLIDE THE LOCKING BAR INTO PLACE THROUGH BOTH PART "A" AND PART "B". NOW INSTALL THE LOCKS.
4. THE GATE HAS NO CENTER BAR IN THE GATE LEAF. YOU MAY NEED TO ADJUST THE 4" STYMELOCK DIMENSION TO FIT THE GATE LEAF DIMENSION OF YOUR GATE LEAF.
5. VERTICAL APPLICATION MAY ALSO BE USED ON SLIDING GATES WITH MULTIPLE LOCKS.



3/8" CARRIAGE BOLT (TYP.)

PART "B"

LOCKING BAR

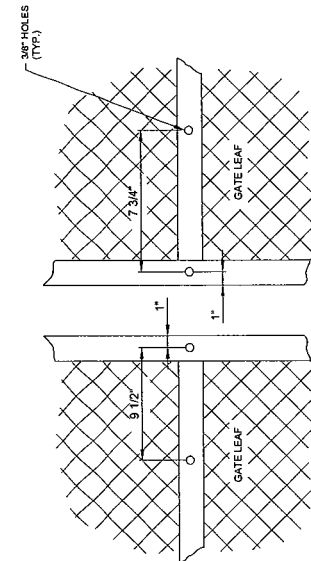
PART "A"

GATE LOCK ASSEMBLY

"STYMELOCK" MULTI LOCKING DEVICE OR APPROVED EQUAL

SLEEVES

**1 GATE FACE - ACCOMODATING STYMELOCK**  
N.T.S.



3/8" HOLES (TYP.)

7 3/4"

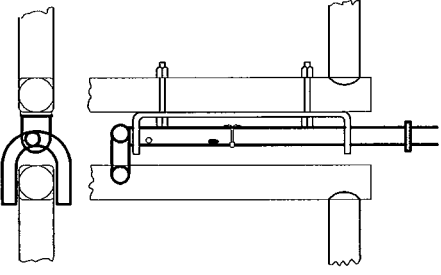
1"

5 1/2"

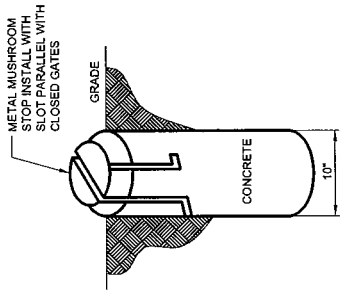
GATE LEAF

GATE LEAF

**2 GATE LOCK ASSEMBLY DETAIL**  
N.T.S.



**3 MUSHROOM STOP DETAIL**  
N.T.S.




METAL MUSHROOM STOP INSTALL WITH SLOT PARALLEL WITH CLOSED GATES

GRADE

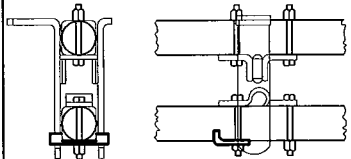
CONCRETE

10"

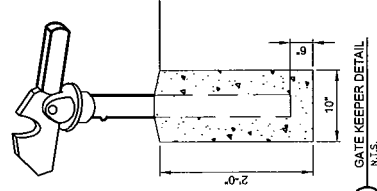
**4 DROP ROD ASSEMBLY DETAIL**  
N.T.S.



**5 LATCH ASSEMBLY DETAIL**  
N.T.S.

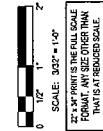


**6 GATE KEEPER DETAIL**  
N.T.S.





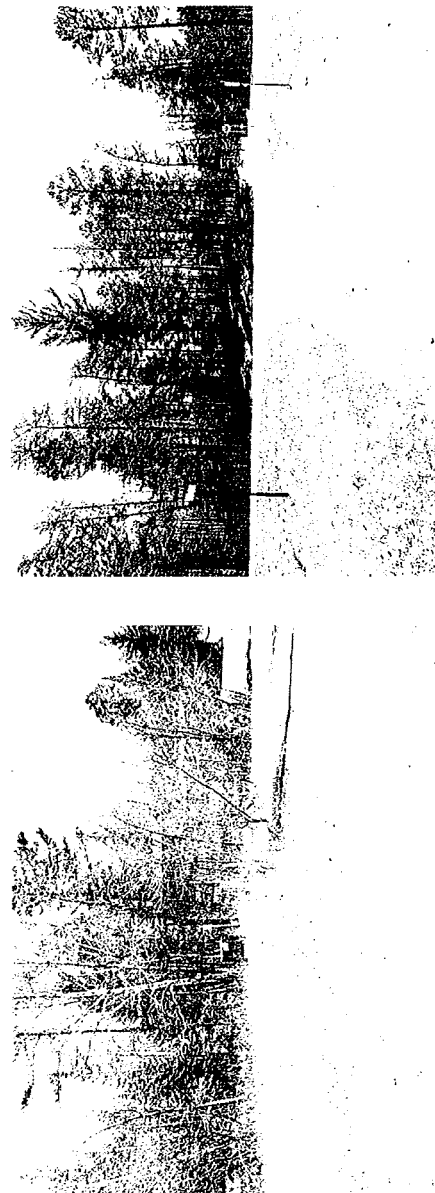
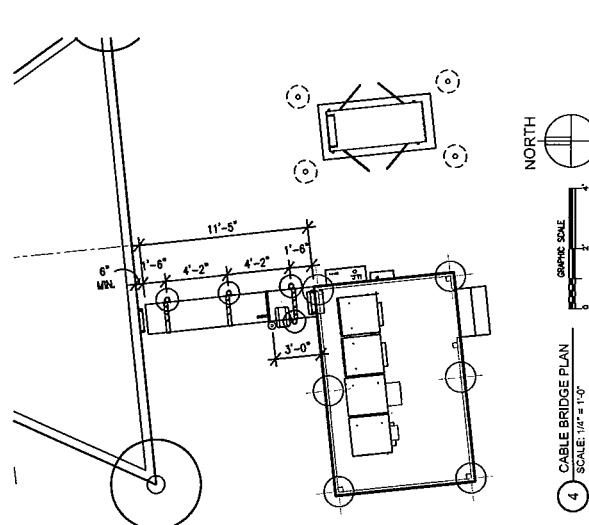
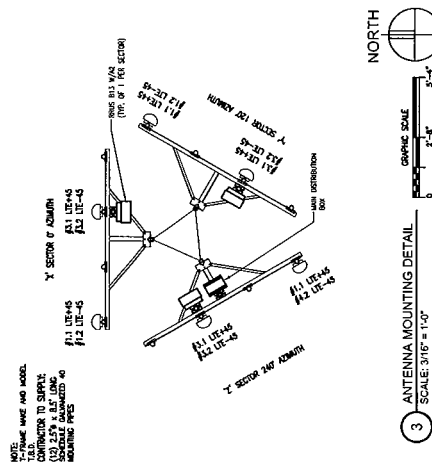
# ANT-1



ANTENNA KEY										COAX KEY								
AZIMUTH	POSITION	FUNCTION	QTY	MANUFACTURER	MODEL	MOD TYPE	ANTENNA LENGTH	ANTENNA TIP	ANTENNA CENTER	ELEC CENTER	MCH DOWNWELL	COAX TYPE	MANUFACTURER	MODEL	DELECTRIC	DIAMETER (INCH)	RUIN (FEET)	
X SECTOR	0	1,1	TX/RX	1	COMSCOPE	LNK-851305-A1M	LTE +45	95.4"	300'	298'	0'	1	RRU	ERICSSON	RRUS-B13 W/2 MOD	(1) COMSCOPE HF7142-4529-15 HYBRID JUMPER DIST. BOX TO RRU		
	120	1,2	TX/RX	1	COMSCOPE	LNK-851305-A1M	LTE +45	95.4"	300'	298'	0'							
	240	3,1	TX/RX	1	COMSCOPE	LNK-851305-A1M	LTE +45	95.4"	300'	298'	0'							
	300	3,2	TX/RX	1	COMSCOPE	LNK-851305-A1M	LTE +45	95.4"	300'	298'	0'							
Y SECTOR	120	1,1	TX/RX	1	COMSCOPE	LNK-851305-A1M	LTE +45	95.4"	300'	298'	0'	1	RRU	ERICSSON	RRUS-B13 W/2 MOD	(1) COMSCOPE HF7142-4529-15 HYBRID JUMPER DIST. BOX TO RRU		
	120	1,2	TX/RX	1	COMSCOPE	LNK-851305-A1M	LTE +45	95.4"	300'	298'	0'							
	240	3,1	TX/RX	1	COMSCOPE	LNK-851305-A1M	LTE +45	95.4"	300'	298'	0'							
	300	3,2	TX/RX	1	COMSCOPE	LNK-851305-A1M	LTE +45	95.4"	300'	298'	0'							
Z SECTOR	240	1,1	TX/RX	1	COMSCOPE	SNBH-1045C	LTE +45	95.9"	300'	298'	0'	1	RRU	ERICSSON	RRUS-B13 W/2 MOD	(1) COMSCOPE HF7142-4529-15 HYBRID JUMPER DIST. BOX TO RRU		
	240	1,2	TX/RX	1	COMSCOPE	SNBH-1045C	LTE +45	95.9"	300'	298'	0'							
	300	3,1	TX/RX	1	COMSCOPE	SNBH-1045C	LTE +45	95.9"	300'	298'	0'							
	300	3,2	TX/RX	1	COMSCOPE	SNBH-1045C	LTE +45	95.9"	300'	298'	0'							
ADDITIONAL: (2) DISTRIBUTION BOX MODEL #PDC02-3315-9F-48 (1 ON PLATFORM & 1 ON SELF-SUPPORT TOWER)																		
(1) COMSCOPE 6880 TRUNK CABLE MODEL #HT1205-24549-130																		
(6) ANDREW RET CABLES (RRH TO ANTENNA)																		
										RAD CENTER		295'						
										CABLE BRIDGE		14'						
										PLATFORM		14'						
										TOTAL		327'						

ANTENNA KEY

2 SCALE: NONE



6 EXISTING UTILITIES  
LOCATED NEAR BOAT LANDING

5 EXISTING APPROACH  
FACING SOUTH FROM ACCESS ROAD

**MN17702-B**  
**BAD**  
**MEDICINE**  
**WZWI: MN05 BAD MEDICINE)**  
**STATE TRUNK HWY NO. 113**  
**PONSFORD, MN 56575**

DRAWN BY:	SG
CHECKED BY:	TAB
DATE:	06-24-16
PROJECT #:	20141054447

SHEET TITLE  
SITE ELEVATION

**ANT-2**

**SBA**  
A DELAWARE LIMITED LIABILITY COMPANY  
5800 BROCKWAY BLVD. SUITE 100  
BROCKWAYTON, IL 62427  
PHONE: 1-800-421-7483



DESIGN 1  
1523 WALLER STREET  
EDEN PRAIRIE, MN 55424  
WWW.DESIGN1EP.COM  
(952) 905-2999

[illegible]

1. ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODE LATEST ADOPTED EDITION, AND ALL LOCAL CODES. THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL PERMITS AND RELATED FEES.

2. ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH SBA SPECIFICATIONS.

3. CONTRACTOR SHALL PERFORM ALL VERIFICATION TESTS AND EXAMINATION WORK PRIOR TO THE ISSUANCE OF ANY PAYMENT REQUEST. CONTRACTOR SHALL FURNISH AND PAY FOR ALL PERMITS AND RELATED FEES.

4. A WRITTEN NOTICE OF ALL PROBLEMS LISTING ALL MATERIALS, EQUIPMENT AND INSTALLATION DISCREPANCIES.

5. ELECTRICAL PLANS, DETAILS AND DIMENSIONS ARE DIAGRAMMATIC ONLY. FIELD CONDITIONS DICTATE

- 6) ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NFPA, AND "UL" LISTED.
- 7) THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY THE NEC AND ALL APPLICABLE LOCAL CODES.
- 8) ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM INTERRUPTING RATING GREATER THAN THE UTILITY FAULT CURRENT.
- 9) FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS AND INSTRUCTIONS.
- 10) PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- 11) PROVIDE SBA WITH ONE SET OF COMPLETE ELECTRICAL "AS-BUILT" DRAWINGS AT THE COMPLETION OF THE JOB INCLUDING ALL ROUTINGS AND WIRING CONNECTIONS.
- 12) LABEL ALL ELECTRICAL EQUIPMENT PER PSC SPECIFICATIONS.
- 13) ALL SINGLE-PHASE SET-TERMINATED METER CONNECTION DEVICES MUST INCLUDE HORN TYPE SOCKET PROVISION SO THAT SERVICE MEN WILL NOT BE INTERRUPTED WHEN A METER IS REMOVED FROM THE SYSTEM.
- 14) PROVIDE ELECTRICAL PUNCH OUTS AND CONDUITS (USED AND SPARE) TO BE "ROBENT PROOFED" WITH CAPS, STEEL MESH, AND/OR FOAM FILL BY CONTRACTOR (AS NEEDED).
- 15) ALL INTERIOR CONDUITS AND BUSINGS SHALL BE EMT. ALL EXTERIOR SHALL BE PVC UNLESS NOTED OTHERWISE SEE SPECIFICATIONS.
- 16) NO SPLS TO BE LEFT ON SITE WITHOUT THE WRITTEN CONSENT OF THE LANDOWNER
- 17) 1X30 SPLS TO BE PROVIDED TO REMOVE 2 PHENOLIC LABELS AT METER. ONE TO IDENTIFY "SEA DISCONNECT" AND THE OTHER TO GIVE SITE ADDRESS.
- 18) ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE GUARANTEED TO BE FREE FROM DEFECTS IN MATERIAL OR WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER, OR HIS REPRESENTATIVE.
- 19) IN THE EVENT OF A DEFECT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS AND LABOR TO CORRECT THE DEFECT WITHOUT COST TO THE OWNER.
- 20) ELECTRICAL WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL LABER, MATERIALS AND EQUIPMENT REQUIRED TO BUILD, INSTALL, MAINTAIN, REPAIR, CONTROL, WIRING, GROUNDS, ETC. AS INDICATED ON ELECTRICAL DRAWINGS AND AS REQUIRED BY GOVERNING CODES.
- 21) PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING SITE CONDITIONS AND ALL NECESSARY SUPPLIES, TOWNSHIP, STATE, FEDERAL, AND ANY CITY OR HOA REQUIREMENTS CONCERNING THE NECESSARY PROVISIONS TO BE MADE. PROPER DETERMINATIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
- 22) PROVIDE POWER AND TELEPHONE SERVICE PLANS AND OBTAIN ALL SERVICE REQUIREMENTS AND PERMITS FOR SUCH IN THE BD.
- 23) SERVICE EQUIPMENT SHALL HAVE A SHORT CIRCUIT WITHSTANDING RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL. THE INSTALLATION SHALL BE FREE FROM OVERHEATING, OVERLOADING, OR SHORTCIRCUITING.
- 24) ALL WIRING SHALL BE COPPER WITH THIN-WALL DUAL RATED 60 VOLTS INSULATION.
- 25) IN THE EVENT OF THE NEED TO SELECT ONE OF TWO OR MORE OPTIONS WHICH MEET THE REQUIREMENTS AND ESTABLISHES THE HIGHEST STANDARD OF PERFORMANCE, THE CONTRACTOR SHALL PREVAIL.
- 26) SERVICE CONDUITS SHALL HAVE NO MORE THAN 2' OF BENDS IN ANY SINGLE RUN. THE CONTRACTOR SHALL PROVIDE PULL BOXES AS NEEDED WHERE MORE THAN 20' BENDS IN ANY SINGLE RUN. SPEED AND RADIUS SHALL BE AS SPECIFIED.
- 27) ALL ELECTRICAL EQUIPMENT SHALL BE ANCHORED TO WITHSTAND 100 MPH + WIND SPEED AS DESIGNED FOR EXPOSURE C.
- 28) ALL ELECTRICAL EQUIPMENT INCLUDING SYSTEM CONDUITS SHALL HAVE A MINIMUM AT LEAST SHEEPERS TO ALLOW FOR PULLING MONOPOLE, ETC., UNLESS OTHERWISE NOTED, OR AS REQUIRED BY UTILITY COMPANIES.
- 29) USE TYPE SHUNT TO BUSSMAN FOLLOW PEAK FEU (BLACK-100).
- 30) SHUNT TYPE TO PROVIDE GUTTER TAPS IF REQUIRED.
- 31) CONTRACTOR TO COLOR OR PHASE CONDUCTORS BLACK (B) PHASE, RED (R) PHASE, WHITE (NEUTRAL), AND GREEN (GROUND).

ANSI AMERICAN NATIONAL STANDARDS INSTITUTE  
NEC NATIONAL ELECTRICAL CODE, LATEST ADOPTED EDITION  
NEMANATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION  
NFPA NATIONAL FIRE PROTECTION ASSOCIATION  
UL UNDERWRITERS LABORATORIES, INC.

**POWER COMPANY: ITASCA-MANTRAP COOP.**  
**CONTACT: KEVIN SCHWARTS**  
**PHONE: (218) 732-3377**

**FIBER COMPANY: TBD**

**POWER COMPANY: ITASCA-MADISON  
CONTACT: KEVIN SCHWARTS  
PHONE: (218) 732-3377**

**FIBER COMPANY: TBD**

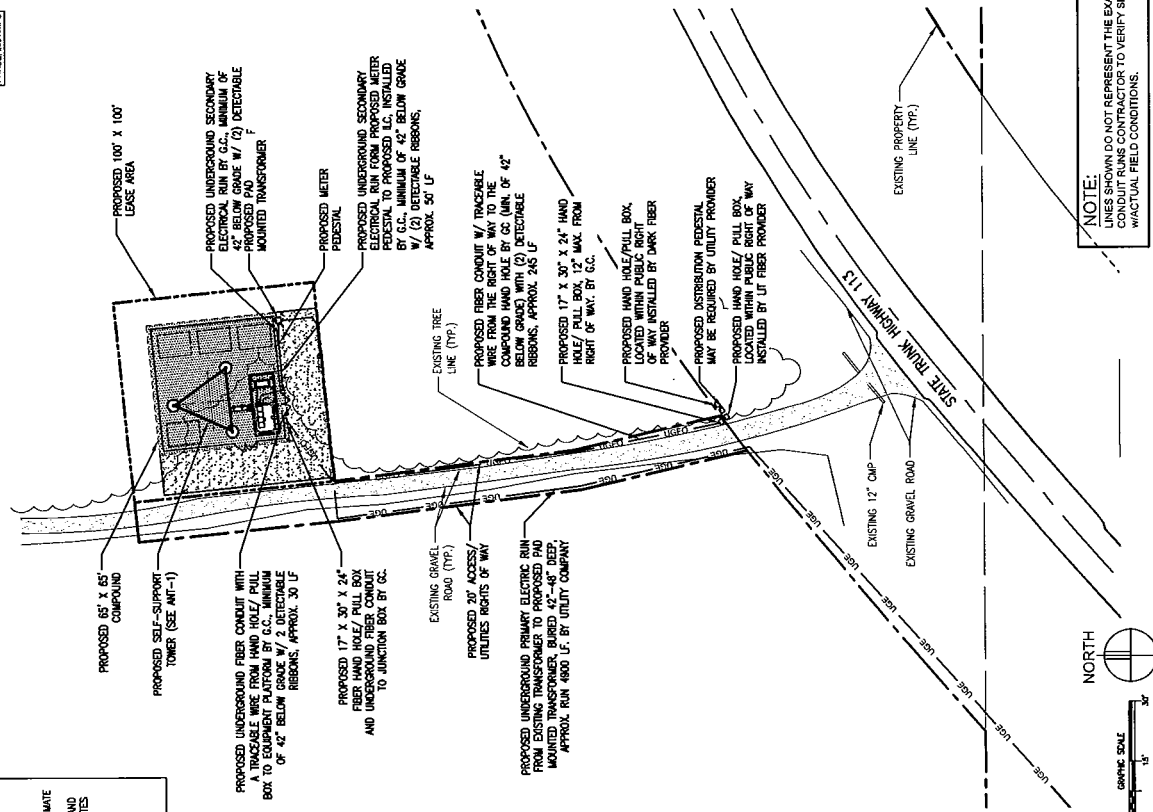
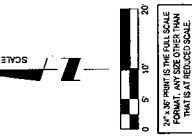
1. CONTRACTOR TO COORDINATE PUBLIC AND PRIVATE UTILITY LOCATES PRIOR TO CONSTRUCTION START. NOTIFY THE ARCHITECT AND THE V2W CONSTRUCTION ENGINEER IMMEDIATELY OF ANY UTILITY LINE ISSUES.

2. EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND NOT ALL UTILITIES ARE SHOWN. CONTRACTOR IS RESPONSIBLE TO NOT DAMAGE UNDERGROUND UTILITIES AND MUST CONDUCT BOTH PUBLIC AND PRIVATE UTILITY LOCATES BEFORE EXCAVATING.

3. CONTRACTOR SHALL RESTORE ALL AREAS, INCLUDING LANDSCAPE, DISTURBED BY CONSTRUCTION TO PRE-CONSTRUCTION CONDITIONS.

POWER TYPE:  
120/240V, SINGLE  
PHASE, 200 AMP

10



**NOTE:**  
LINES SHOWN DO NOT REPRESENT THE EXACT LOCATION OF THE  
CONDUIT RUNS CONTRACTOR TO VERIFY SERVICE LOCATIONS  
W/ACTUAL FIELD CONDITIONS.

1 UTILITY ROUTING PLAN  
SCALE: 1" = 30'

[illegible]

MN17702-B

## BAD MEDICINE

(VZW: MN05 BAD MEDICINE)

STATE TRUNK HWY NO. 113  
PONSFORD, MN 56575

DRAWN BY:	SG
CHECKED BY:	TAB
DATE:	06-24-16

**SHEET TITLE**  
**UTILITY ROUTING PLAN**

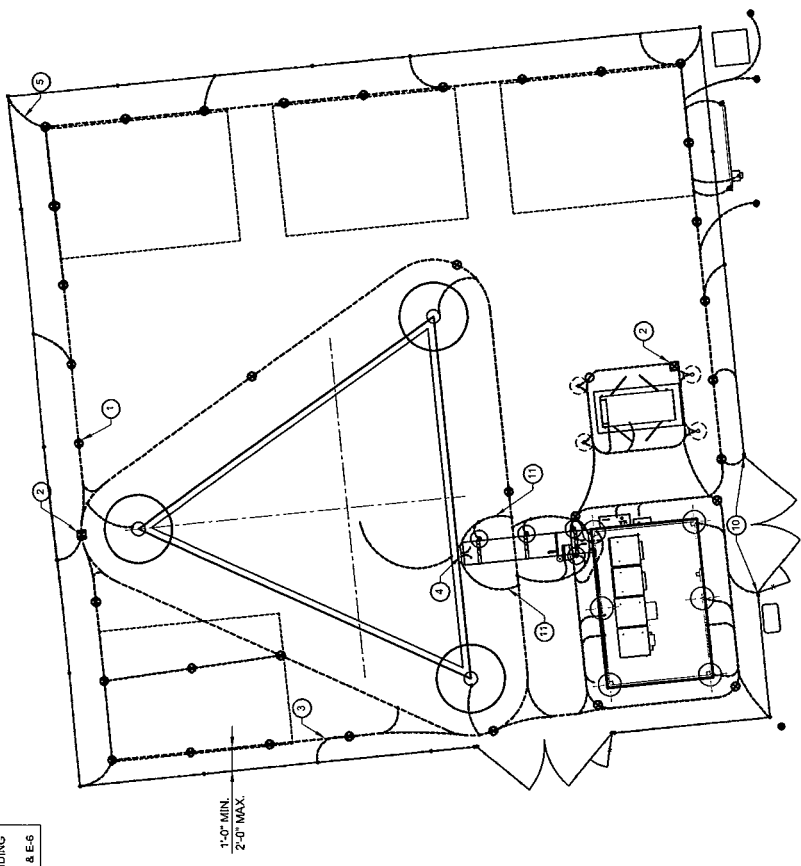
SHEET NUMBER

三



SCALE: N.T.S.

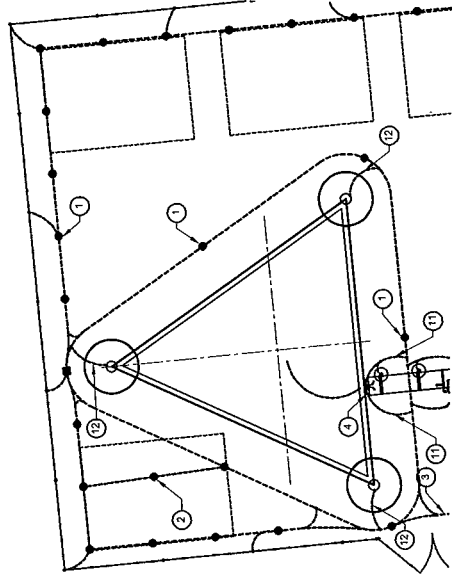
NOTE:  
SEE GROUNDING  
DETAILS ON  
SHEETS E-5 & E-6



1 SITE GROUNDING PLAN  
SCALE: N.T.S.

SYMBOLS LEGEND

- GROUND ROD WITH ACCESS
- GROUND ROD
- EXOTHERMIC CONNECTION
- MECHANICAL CONNECTION
- GROUND BAR
- GROUND WIRE



2 ENLARGED GROUNDING PLAN @ TOWER BASE (TYP.)

BALLOON REFERENCE NOTES:

- 5/8" DIA. COPPER CLAD GROUND ROD BURIED 42" BELOW GRADE (MIN.)
- GROUND ROD ACCESS WELL (MIN. OF 2 EACH PER COMPOUND)
- #2 SOLID, TINNED, BARE COPPER WIRE GROUND RING (CONTINUOUS STRAND) PERIPHERAL GROUND RING SHOULD BE INSTALLED 1/2" INSIDE THE FENCE LINE. THE TOWER GROUND RING SHOULD BE INSTALLED A MINIMUM TWO FEET OFF OF ANY STRUCTURE
- 1/4" X 20" TINNED COPPER GROUND BAR, 2 TYP. AT BASE AND TOP OF TOWER. MOUNT DIRECT TO TOWER, DO NOT ISOLATE.
- #2 SOLID, TINNED, BARE COPPER WIRE GROUND LEAD TO FENCE CORNER POST.
- #2 SOLID, TINNED, BARE COPPER WIRE GROUND LEAD TO TELCO CELL-PAK.
- #2 SOLID, TINNED, BARE COPPER WIRE GROUND LEAD TO UTILITY H-FRAME SUPPORT POST
- SERVICE ENTRANCE GROUND TO DEDICATED GROUND ROD
- #2 INSULATED, STRANDED COPPER GROUND LEAD ROUTED IN CONDUIT TO 200A LOAD CENTER.
- #2 INSULATED, STRANDED COPPER BOND STRAP FROM GATE FRAME TO GATE POST, (TYP EACH GATE)
- #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM GROUND BAR AT SELF SUPPORT TOWER BASE TO GROUND RING ROUTE IN 3/4" FLEX CONDUIT AND WEATHERPROOF OPEN END, (2 TYPICAL)
- #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM SELF SUPPORT TOWER BASE TO GROUND RING, (2 TYPICAL, 180° SEPARATION)
- TOWER LIGHT CONTROLLER (GROUND PER MANUFACTURER'S RECOMMENDATIONS) IF REQUIRED
- #2 SOLID, TINNED, BARE COPPER WIRE FROM TRANSIENT VOLTAGE SURGE SUPPRESSOR TO GROUND RING IF REQUIRED AT LIT SITES

3 ENLARGED GROUNDING PLAN @ UTILITY H-FRAME

**SBA**  
SBA TOWERS, LLC  
1000 BUCKLE LANE, SUITE 100  
PONSFORD, MN 55575  
PHONE: 800-441-7435

**DESIGN**  
DESIGN PARTIALS AND SBA  
1000 BUCKLE LANE, SUITE 100  
PONSFORD, MN 55575  
WWW.DESIGNPARTS.COM

NO.	REVISIONS
1	ISSUED FOR REVIEW
2	DATE: 06-24-15
3	BY: [Signature]

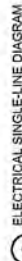
MN17702-B  
BAD  
MEDICINE  
(VZW: MN05 BAD MEDICINE)  
STATE TRUNK HWY NO. 113  
PONSFORD, MN 55575

DRAWN BY:	SG
CHECKED BY:	TAB
DATE:	06-24-15
PROJECT #:	2014105447

SHEET TITLE  
GROUNDING PLAN  
(SST)

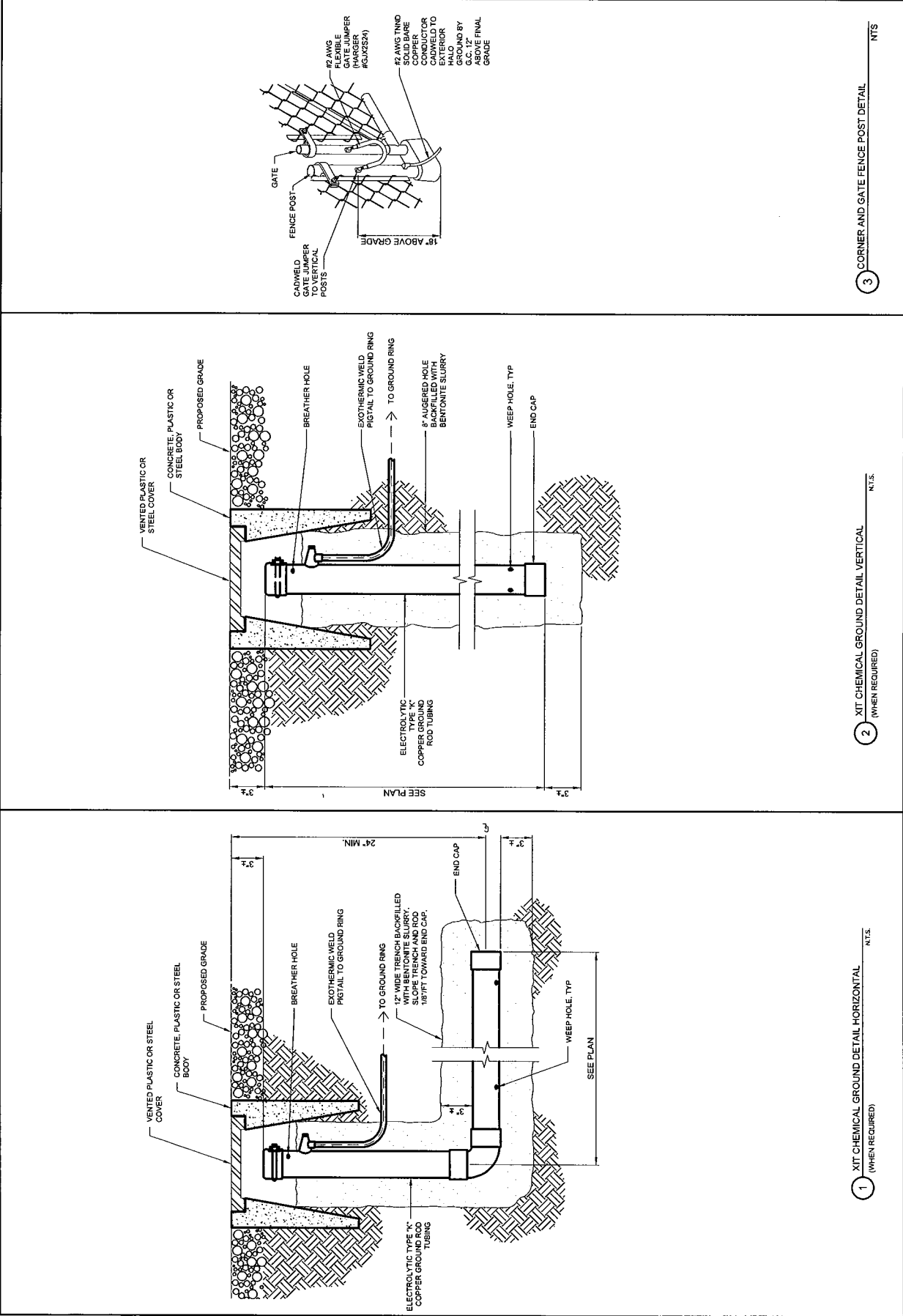
SHEET NUMBER  
**E-2**

[illegible]






[illegible]




1 XIT CHEMICAL GROUND DETAIL HORIZONTAL  
(WHEN REQUIRED) N.T.S.

2 XIT CHEMICAL GROUND DETAIL VERTICAL  
(WHEN REQUIRED) N.T.S.

3 CORNER AND GATE FENCE POST DETAIL  
NTS



SBA CONSULTING  
5000 BROADWAY, SUITE 100  
ROCKFORD, IL 61107  
PHONE: 815-965-1433



DESIGN  
5923 WALKER DRIVE, SUITE 200  
EAST PALM BEACH, FL 33411  
PHONE: 561-833-9299

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR RISKW
2	DATE: 06-24-16
3	BY: SG

MN17702-B

BAD MEDICINE

(VZWI: MN05 BAD MEDICINE)

STATE TRUNK HWY NO. 113  
PONSFORD, MN 56575

DRAWN BY:	SG
CHECKED BY:	TAB
DATE:	06-24-16
PROJECT #:	20141054447

SHEET TITLE

GROUNDING DETAILS

SHEET NUMBER

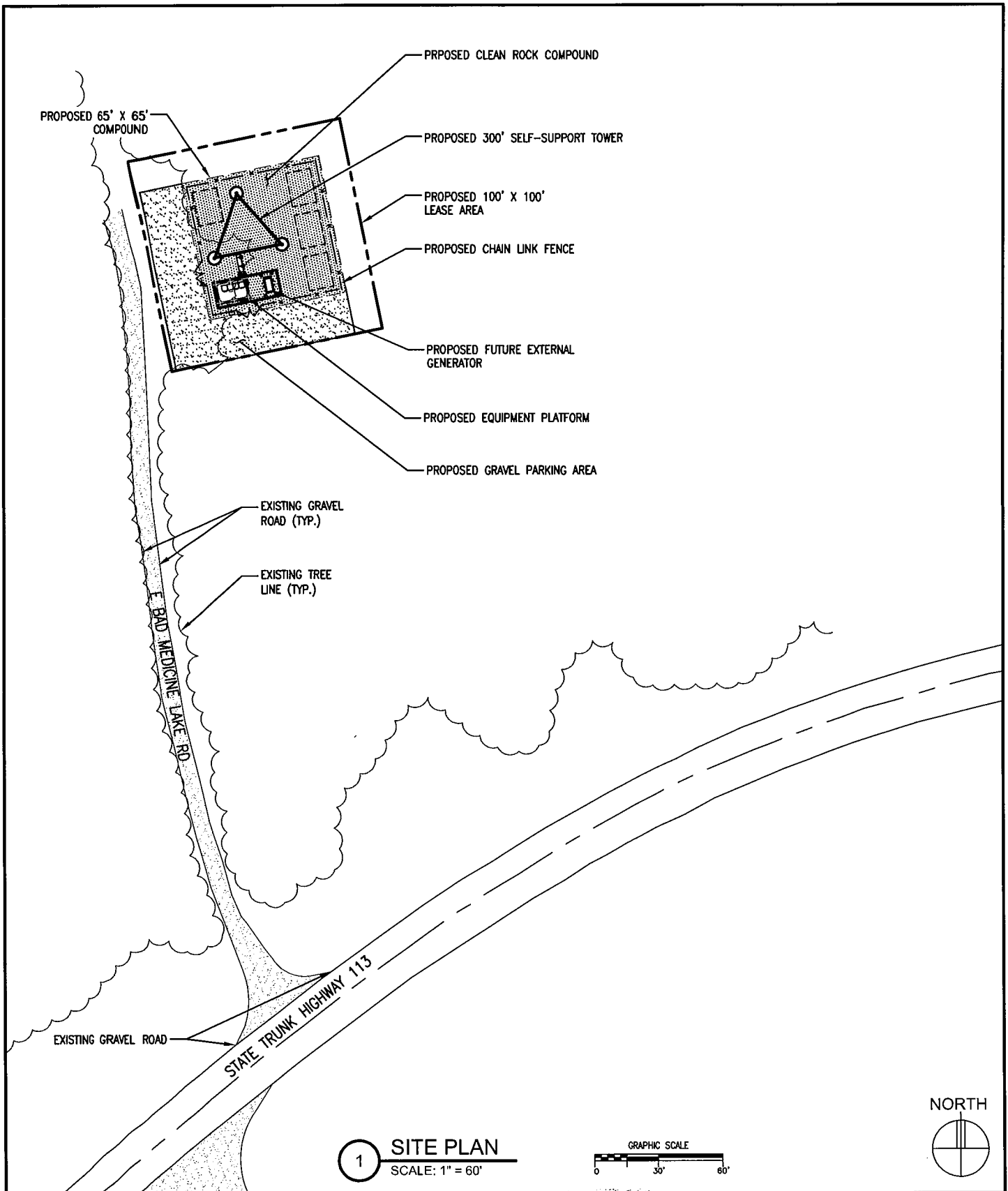
E-6



[illegible]







**DESIGN 1**

9973 VALLEY VIEW ROAD  
EDEN PRAIRIE, MN 55344  
(952) 903-9299 FAX 903-9292



SBA COMMUNICATIONS  
5900 BROKEN SOUND PARKWAY NW  
BOCA RATON, FL 33487-2797  
PH. (561) 226-9457 FAX (561) 226-3572

PROJECT:

MN17702-B BAD MEDICINE  
VZW: MN05 BAD MEDICINE  
E. BAD MEDICINE ROAD  
PONSFORD, MN 56575

DRAWN BY: SG  
DATE: 05-16-16  
SS v.2



Federal Aviation  
Administration

« OE/AAA »

## Notice of Proposed Construction or Alteration - Off Airport

[Add a new Case Off Airport - Desk Reference Guide V\\_2016.2.0](#)

[Add a New Case Off Airport for Wind Turbines - Met Towers - Desk Reference Guide V\\_2016.2.0](#)

Project Name: SBA T-000374345-16

Sponsor: SBA Towers

### Details for Case : MN 17702-B

[Show Project Summary](#)

Case Status				
ASN:	2016-AGL-9318-OE			
Status:	Accepted			
Date Accepted:	06/28/2016			
Date Determined:				
Letters:	None			
Documents:	06/28/2016  MN 17702-B 1A Sur...			
Public Comments:	None			
Project Documents:	None			
Construction / Alteration Information				
Notice Of:	Construction			
Duration:	Permanent			
	<i>if Temporary</i> ; Months: Days:			
Work Schedule - Start:				
Work Schedule - End:				
<p><i>*For temporary cranes-Does the permanent structure require separate notice to the FAA? To find out, use the Notice Criteria Tool. If separate notice is required, please ensure it is filed. If it is not filed, please state the reason in the Description of Proposal.</i></p> <p>State Filing:</p>				
Structure Details				
Latitude:	47° 8' 44.01" N			
Longitude:	95° 21' 33.91" W			
Horizontal Datum:	NAD83			
Site Elevation (SE):	1618 (nearest foot)			
Structure Height (AGL):	310 (nearest foot)			
Current Height (AGL):	(nearest foot)			
<p><i>* For notice of alteration or existing provide the current AGL height of the existing structure. Include details in the Description of Proposal</i></p>				
Minimum Operating Height (AGL):	(nearest foot)			
<p><i>* For aeronautical study of a crane or construction equipment the maximum height should be listed above as the Structure Height (AGL). Additionally, provide the minimum operating height to avoid delays if impacts are identified that require negotiation to a reduced height. If the Structure Height and minimum operating height are the same enter the same value in both fields.</i></p>				
Nacelle Height (AGL):	(nearest foot)			
<p><i>* For Wind Turbines 500ft AGL or greater</i></p>				
Requested Marking/Lighting:	Dual-red and medium intensity			
Other :				
Recommended Marking/Lighting:				
Current Marking/Lighting:	N/A Proposed Structure			
Other :	<input type="text"/>			
Nearest City:	Ponsford			
Nearest State:	Minnesota			
Description of Location:	See attached 1A survey and the FAA map.			
Description of Proposal:	Proposed new construction. Site moved due to County requirement.			
Structure Summary				
Structure Type:	Antenna Tower			
Structure Name:	MN 17702-B			
FDC NOTAM:				
NOTAM Number:				
FCC Number:				
Prior ASN:	2016-AGL-539-OE			
Common Frequency Bands				
Low Freq	High Freq	Freq Unit	ERP	ERP Unit
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
Specific Frequencies				

[← Previous](#) [Back to Search Result](#) [Next](#)

Affidavit of Publication  
/STATE OF MINNESOTA )  
County of Becker ) ss.

Kari Pederson, being first duly sworn, on oath states as follows:

1. I am the Advertising Assistant of the Detroit Lakes Tribune, or the publisher's designated agent. I have personal knowledge of the facts stated in this Affidavit, which is made pursuant to Minnesota Statutes §331A.07.


2. The newspaper has complied with all of the requirements to constitute a qualified newspaper under Minnesota law, including those requirements found in Minnesota Statutes §331A.02.

3. The dates of the month and the year and day of the week upon which the public notice attached/copied below was published in the newspaper are as follows: Wednesday the 29<sup>th</sup> day of June, 2016

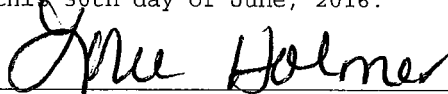
4. The publisher's lowest classified rate paid by commercial users for comparable space, as determined pursuant to § 331A.06, is as follows: \$16.70.

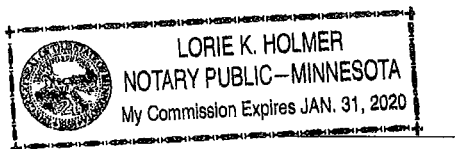
5. Mortgage Foreclosure Notices. Pursuant to Minnesota Statutes §580.033 relating to the publication of mortgage foreclosure notices: The newspaper's known office of issue is located in Becker County. The newspaper complies with the conditions described in §580.033, subd. 1, clause (1) or (2). If the newspaper's known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

FURTHER YOUR AFFIANT SAITH NOT.

  
[Signature]

Subscribed and sworn to before me on  
this 30th day of June, 2016.

  
Notary Public



**PUBLIC NOTICE**

SBA Towers IX, LLC is proposing to install a telecommunications tower located along STH 113 (E of East Bad Medicine Lake Rd) in Ponsford, Becker County, MN and 47.14556° N by -95.35942° W. The height of the tower will be 94.5 meters above ground level and 587.6 meters above mean sea level. In accordance with FAA Requirements, the tower is anticipated to have strobe lighting at approximately 91.4 meters and steady lighting at approximately 45.7 meters above ground level. Interested persons may review the application for this project at [www.fcc.gov/asr/applications](http://www.fcc.gov/asr/applications) by entering Antenna, Structure Registration (Form 854) file number A1040816 and may raise environmental concerns about the project by filing a Request for Environmental Review with the Federal Communications Commission. Requests for Environmental Review must be filed within 30 days of the date that notice of the project is published on the FCC's website. The FCC strongly encourages interested parties to file Requests for Environmental Review online at [www.fcc.gov/asr/environmentalrequest](http://www.fcc.gov/asr/environmentalrequest). Parties wishing to submit the request by paper may do so by mailing the request to "FCC Requests for Environmental Review, Attn: Ramon Williams, 445 12th St SW, Washington, DC 20554."

T-June 29 2342295



**BECKER COUNTY BOARD OF COMMISSIONERS**  
**RESOLUTION 06-16-2A**  
**Reclassification of Tax Forfeit Land in Forest Township**

**WHEREAS**, on September 7, 1949 the Becker County Board of Commissioners, by official resolution classified as Conservation, among other tax-forfeited lands, the Southwest Quarter of the Northwest Quarter in Section 03 Township 142 Range 037 and designated as part of Bad Medicine Memorial Forest. (Parcel #12.7024.000)

**WHEREAS**, Minn. Stat. 459.06 Subd. 3. Allows the Becker County Board of Commissioners by resolution to withdraw tax forfeit land from a memorial forest for disposal if the Commissioner of Natural Resources approves the sale of the land.

**WHEREAS**, June 15, 2016 Becker County Auditor-Treasurer received approval for a sale to Becker County parcel #12.7024.000 for a cell tower to provide service to the residents of Forest Township.

**WHEREAS**, Minn. Stat. 282.01, Subd 1. Requires the County Board to consider the present use of the adjacent land, productivity of the soil, character of the forest, and sustained yield management when determining the classification of tax forfeited land.

**WHEREAS**, Minn. Stat. 282.01, Subd. 2. Requires that tax forfeited lands to be sold must be classified as Non-Conservation.

**NOW THEREFORE BE IT RESOLVED.** That the Board of County Commissioners of Becker County, Minnesota, hereby declare Parcel #12.7024.000 be reclassified as **Non-Conservation** for future sale to Becker County to allow essential services for the residents of Forest Twp.

Duly adopted this 21 day of June 2016, at Detroit Lakes, MN.

COUNTY BOARD OF COMMISSIONERS  
Becker County, Minnesota

ATTEST:

/s/ Jack W. Ingstad  
Jack W. Ingstad  
County Administrator

/s/ Barry Nelson  
Barry Nelson  
Board Chair

State of Minnesota )  
                                  ) ss  
County of Becker )

I, the undersigned being the duly appointed and qualified County Administrator for the County of Becker, State of Minnesota, do hereby certify that the foregoing is a true and correct copy of a Resolution passed, adopted, and approved by the County Board of Commissioners at a meeting held \_\_\_\_\_, \_\_\_\_\_, 2016, as recorded in the record of proceedings.

\_\_\_\_\_  
Jack W. Ingstad  
County Administrator

## ENTRY AND TESTING AGREEMENT

This Entry and Testing Agreement ("Agreement") is made and entered into as of the 22 day of JUNE, 2016, by and between **SBA Towers IX, LLC**, a Delaware limited liability company ("SBA"), and **Becker County, Minnesota** ("Owner") concerning the following described real property: Assessor's Parcel Number 127024000, East Bad Medicine Lake Road & Highway 113, Becker County, Minnesota ("Property") as more particularly described on Attachment A, hereto.

A. **WHEREAS**, SBA has an interest in leasing space on the Property for use as a site for a telecommunications facility ("Facility"); and

B. **WHEREAS**, In order for SBA to determine the feasibility of the Property as a site for the Facility, it is necessary for employees, agents or independent contractors of SBA to enter upon and inspect the Property and/or temporarily locate communications equipment on the Property to conduct tests; and

C. **WHEREAS**, SBA seeks Owner's permission for SBA, its employees, agents and/or independent contractors to enter upon, inspect and/or conduct testing activities and applications concerning the Property pursuant to the terms contained in this Agreement.

**NOW, THEREFORE**, in consideration of the mutual promises, covenants, undertakings, and other consideration set forth in this Agreement, SBA and Owner agree as follows:

1. **Consent.** Owner grants permission to SBA, its employees, agents and independent contractors ("Authorized Parties"), to enter upon the Property to conduct and perform some or all of the following activities ("Permitted Activities"): surveys, geotechnical soil borings and analyses, Phase I environmental audits, boundary surveys, radio propagation studies and such other tests and inspections of the Property which SBA may deem necessary or advisable. SBA agrees to be responsible for any and all costs related to the Permitted Activities, including installation on and operation and removal of equipment on the Property.

2. **Term.** The term ("Term") hereof shall be up to one hundred eighty (180) days from full execution of this Agreement and shall be revocable by SBA at any time.

3. **Access.** Owner grants permission to the Authorized Parties to enter upon the Property to perform the Permitted Activities during the Term of this Agreement upon SBA providing 24 hours prior written notice to Owner. The Authorized Parties may access the Property to install and leave equipment during the Term.

4. **Removal of Equipment.** SBA agrees that it will, upon the conclusion of its testing, remove any equipment installed on the Property as a part of the Permitted Activities, repair any damage to the Property that has been caused in connection with any of the Permitted Activities, and will return the Property to the condition it was in before the Authorized Parties' entry onto the Property. In the event any equipment installed on the Property by the Authorized Parties is not timely removed by the end of the Term, Owner will have the right to remove such equipment and SBA agrees to be responsible for the reasonable costs of such removal.

5. **Indemnity.** SBA agrees to indemnify, save harmless, and defend the Owner and its directors, officers, employees, and management agent, if any, from and against any and

all claims, actions, damages, liability and expense in connection with personal injury and/or damage to property to the extent arising from or out of any occurrence in, upon or at the Property caused by the act or omission of the Authorized Parties in conducting the Permitted Activities. Any defense conducted by SBA of any such claims, actions, damages, liability and expense will be conducted by attorneys chosen by SBA and SBA will be liable for the payment of any and all court costs, litigation expenses, reasonable attorneys' fees and any judgment that may be entered therein.

6. **Insurance.** SBA's representative and/or independent contractors' will procure and maintain a public liability policy, with limits of \$1,000,000 for bodily injury and \$1,000,000 for property damage, with a certificate of insurance to be furnished to Owner prior to entering the Property to perform any Permitted Activities.

7. **Representations.** The signatories below have the full right and authority to enter into this Agreement on behalf of SBA and Owner and to perform the obligations hereunder.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year first above written.

Owner

SBA Towers IX, LLC, a Delaware  
limited liability company

By: Steven Skoog

By: KM. Y

Name: Steven Skoog

Name: Kevin Gallagher

Title: Land Use Dept Director

Title: Vice President - New Tower Builds

Date: 6/22/2016

Date: 6/23/16

Contact Phone#: 218 846.7310



## Attachment A

### PROPOSED LEASE AREA DESCRIPTION:

That part of Southwest Quarter of the Northwest Quarter of Section 3, Township 142 North, Range 37 West of the Fifth Principal Meridian, Becker County, Minnesota, described as follows:

Commencing at the southwest corner of said Southwest Quarter of the Northwest Quarter; thence North 89 degrees 52 minutes 35 seconds East along the South line of said Southwest Quarter of the Northwest Quarter, a distance of 447.11 feet; thence North 0 degrees 07 minutes 25 seconds West, a distance of 334.25 feet to the Point of Beginning of the lease area to be described; thence South 84 degrees 07 minutes 18 seconds West, a distance of 100.00 feet; thence North 5 degrees 52 minutes 42 seconds West, a distance of 100.00 feet; thence North 84 degrees 07 minutes 18 seconds East, a distance of 100.00 feet; thence South 5 degrees 52 minutes 42 seconds East, a distance of 100.00 feet to the Point of Beginning.

Containing 10,000 Sq. Ft. or 0.23 Acres.

### PROPOSED ACCESS & UTILITY EASEMENT DESCRIPTION:

An easement for ingress, egress and utility purposes over, under and across the Southwest Quarter of the Northwest Quarter of Section 3, Township 142 North, Range 37 West of the Fifth Principal Meridian, Becker County, Minnesota, described as follows:

Commencing at the southwest corner of said Southwest Quarter of the Northwest Quarter; thence North 89 degrees 52 minutes 35 seconds East along the South line of said Southwest Quarter of the Northwest Quarter, a distance of 447.11 feet; thence North 0 degrees 07 minutes 25 seconds West, a distance of 334.25 feet; thence South 84 degrees 07 minutes 18 seconds West, a distance of 100.00 feet; thence South 7 degrees 12 minutes 34 seconds East, a distance of 120.22 feet to the Point of Beginning of the easement to be described; thence reverse North 7 degrees 12 minutes 34 seconds West, a distance of 120.22 feet; thence North 5 degrees 52 minutes 42 seconds West, a distance of 100.00 feet; thence South 84 degrees 07 minutes 18 seconds West, a distance of 20.00 feet; thence South 5 degrees 52 minutes 42 seconds East, a distance of 100.23 feet; thence South 7 degrees 12 minutes 34 seconds East, a distance of 121.49 feet; thence South 13 degrees 08 minutes 18 seconds East, a distance of 86.87 feet to the northerly right of way line of State Trunk Highway Number 113; thence North 52 degrees 18 minutes 55 seconds East along said northerly right of way line of State Trunk Highway Number 113, a distance of 21.99 feet to a line bearing South 13 degrees 08 minutes 18 seconds East from the Point of Beginning; thence North 13 degrees 08 minutes 18 seconds West, a distance of 76.70 feet to the Point of Beginning.

Containing 6,055 Sq. Ft. or 0.14 Acres.



# COUNTY OF BECKER

## *Planning and Zoning*

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314 ~ Fax: 218-846-7266

---

### PLANNING COMMISSION NOTICE OF PUBLIC HEARING

**\*\*HEARING DATE AND LOCATION\*\***

August 08, 2016 @7:00 PM

**3<sup>rd</sup> Floor Jury Assembly Room New Addition-Becker County Courthouse**  
Detroit Lakes, MN. 56502

**APPLICANT:**

Robert & Virginia Briard  
38501 Co Hwy 56  
Frazee, MN 56544

Project Location: 38501 Co Hwy 56

**APPLICATION AND DESCRIPTION OF PROJECT:**

Request a Conditional Use Permit to put a third dwelling on a 397.15 acre parcel to be occupied by a grandson who is engaged in the day to day farming operations.

**LEGAL LAND DESCRIPTION:** 150213000

Height of Land

NE1/4 LESS E 1AC NE1/4 NE1/4; FRAC SE1/4; SE1/4 NW1/4; GOVT LOT 3, Section 22, TWP 139, Range 39

REFER TO BECKER COUNTY ZONING ORDINANCE

**Replies/Comments:** Interested parties are invited to submit to the Becker County Department of Planning, Zoning, and Land Use, written facts, arguments or objectives before the scheduled date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable. Replies may be addressed to:

**PLANNING AND ZONING DEPARTMENT**

915 Lake Avenue  
Detroit Lakes, MN. 56501

**FAX Number: 218-846-7266**

**email: [zoning@co.becker.mn.us](mailto:zoning@co.becker.mn.us)**

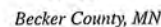
If you have questions about the Project, feel free to call 218-846-7314.

**Jurisdiction:** This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

**Regulatory Authority:** This Application will be reviewed according to the provisions of the Becker County Zoning Ordinance.

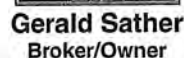
The decision whether to issue a Permit will be based on an evaluation of the probable impact including cumulative impacts, of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors which may be relevant to the proposal will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, in General, the Needs and Welfare of the People.

**\*\* Weather conditions may change the Hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations or contact the Zoning Office, by 4:30 pm, for possible rescheduling of the Hearing.**



410

**of Detroit Lakes LLC**



## OPPORTUNITIES







~ CONDITIONAL USE APPLICATION ~

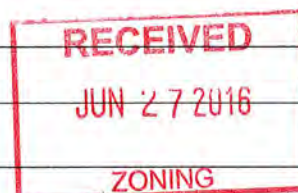
BECKER COUNTY PLANNING & ZONING

915 LAKE AVENUE, DETROIT LAKES, MN 56501  
PHONE (218) 846-7314 - FAX (218) 846-7266

PARCEL	
APP	CUP
YEAR	
SCANNED	

PROPERTY OWNER INFORMATION (as it appears on tax statement, purchase agreement or deed)

First name(s): Robert + Virginia Last name: Briard  
Mailing Address: 38501 Co Hwy 56 City, State, Zip Frazee, MN 56544  
Phone Number(s): 218-841-2525 Project Address: Same  
Parcel number(s) of property: 15.0213.000 Sect - Twp - Range: 22-139-39  
Township Name: Height of Land Legal Description: -



REASON FOR CONDITIONAL USE REQUEST: Request to put a third dwelling for a Grandson, who also is working into the farm. Grandson is engaged in the day to day farming operations.

The information provided for this document is truthful and accurate to the best of my knowledge. I understand that this statement is null and void if any of the above information is not supplied or is inaccurate.

[Signature]

SIGNATURE OF APPLICANT

6-27-16

DATE

OTHER INFORMATION NEEDED TO COMPLETE THE APPLICATION:

1. A copy of the deed from the Recorder's Office;
2. Completed Site Application with sketch showing all setbacks, platted or surveyed dimensions of the lot and all existing and proposed buildings; parking area and all other materials deemed necessary.
3. Non-refundable filing fee of \$326.00. If in Cormorant Township add \$25.00 surcharge to the filing fee (\$351.00). **Make check payable to Becker County Zoning.**
4. **Is the conditional use permit request after the fact?** ☐ Yes ☐ No  
*If yes, after the fact application fee is an additional \$600.00.*

\*\*\*\*\*

Office Use Only

This application is hereby (accepted) or (rejected) as presented.

[Signature]  
SIGNATURE - ZONING ADMINISTRATOR

7/8/16  
DATE

PARCEL	
APP	CUP
YEAR	

## BUSINESS PLAN

Name of Business: \_\_\_\_\_

Owners of Business: \_\_\_\_\_

Type of Business:                  Retail Sales                  Service                  Other

Type of Merchandise: \_\_\_\_\_

Type of Service: \_\_\_\_\_

Hours of Operation: \_\_\_\_\_

Number of Employees: \_\_\_\_\_

Off – street Parking Plan: \_\_\_\_\_

Size of Structure to be used for Business: \_\_\_\_\_

New Structure: 28 x 40 modular Existing Structure: \_\_\_\_\_

Signage Plan: over Full basement.

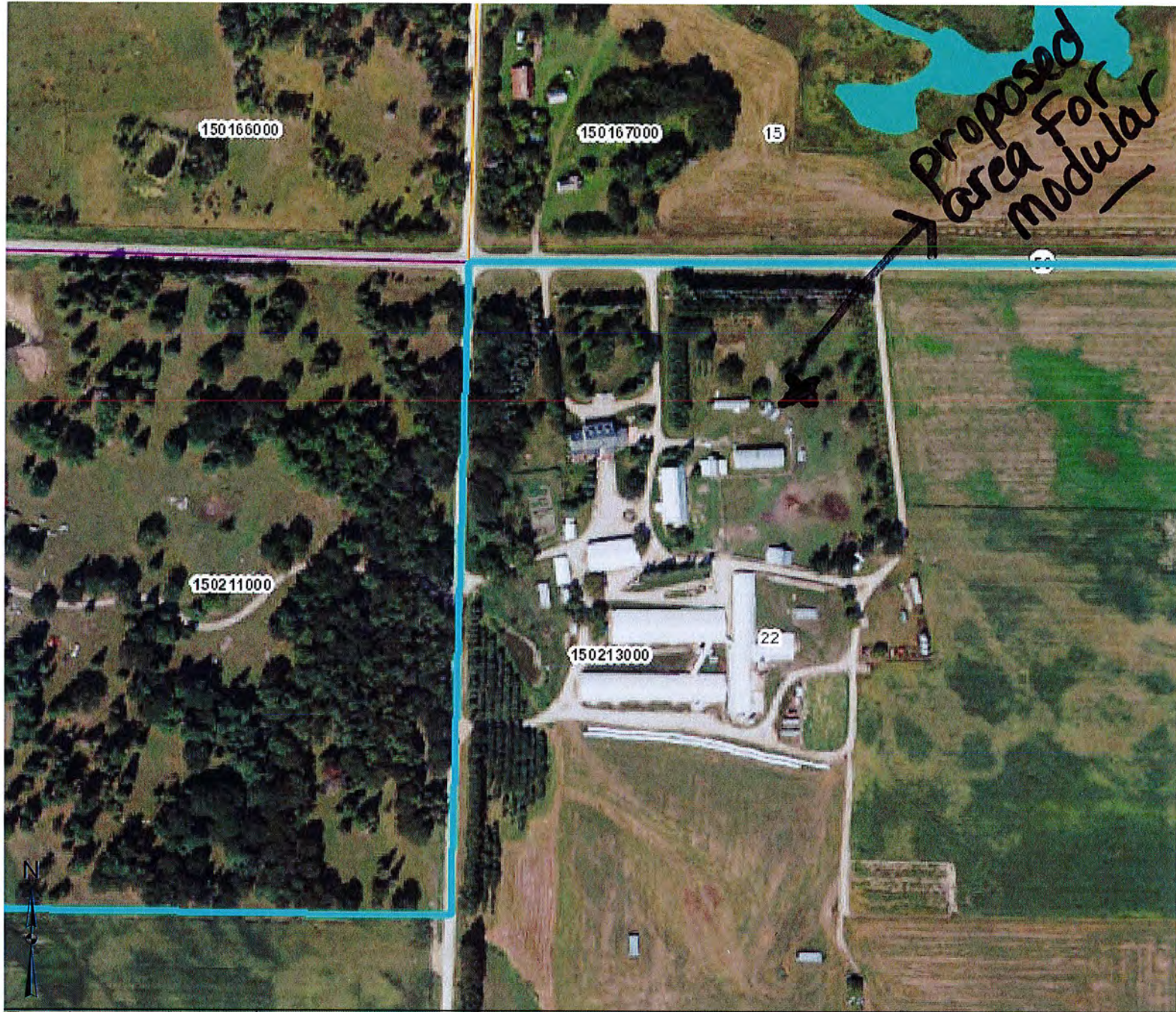
Exterior Lighting Plan: \_\_\_\_\_

Environmental Hazards: \_\_\_\_\_

Other Comments: Currently there is the main house, (Bob & Virginia's),  
a mobile home for one farmhand which has been  
there for several years, and want to put a  
new modular home on here for a grandson who  
is also working on the farm.

397.15 acres





These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

1:3,456

Date

This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.





**Topographical Alteration/Earth moving**

( ) None ( ) 10 cubic yards or less (X) 11- 50 cubic yards ( ) over 50 cubic yards

**Project over 50 cubic yards a storm water management plan must be included with permit application.**

**Characteristics of Proposed Dwelling/Dwelling Additions/Attached Garage/Decks**

Cost of Project

☒ Dwelling 28 ft by 40 ft ☐ Attached Garage \_\_\_\_\_ ft x \_\_\_\_\_ ft

\$ 125,000

Outside Dimension ☐ Deck/Patio \_\_\_\_\_ ft x \_\_\_\_\_ ft ☐ Addition to existing \_\_\_\_\_ ft x \_\_\_\_\_ ft

Setback to Side Lot Line 100 ft & Rear Lot Line 50 ft Setback to Road Right of Way 300 ft

Setback to Bluff \_\_\_\_\_ Type of road County

Setback to Wetland \_\_\_\_\_ Is wetland protected ☐ Yes ☐ No

Setback to OHW (straight horizontal distance) \_\_\_\_\_ Elevation above OHW (Straight vertical distance) \_\_\_\_\_

Setback to septic tank 10 Setback to drainfield 20

Total No. Bedrooms 3 Maximum height proposed 16 # of Stories 1

Roof Change ☐ Yes ☐ No Basement ☒ Yes ☐ No Walkout Basement ☐ Yes ☒ No

**Characteristics of Proposed Non Dwelling/Non Dwelling Additions/Detached Garages/Storage Sheds**

☐ Garage \_\_\_\_\_ ft by \_\_\_\_\_ ft ☐ Storage Shed \_\_\_\_\_ ft x \_\_\_\_\_ ft ☐ Fence \_\_\_\_\_ ft long x \_\_\_\_\_ high ☐ other \_\_\_\_\_ ft x \_\_\_\_\_ ft

Outside Dimension ☐ Addition to existing structure \_\_\_\_\_ ft x \_\_\_\_\_ ft ☐ Fence \_\_\_\_\_ ft x \_\_\_\_\_ ft

Cost of Project

Setback to Lot Line \_\_\_\_\_ ft & Rear Lot Line \_\_\_\_\_ ft Setback to Road Right of Way \_\_\_\_\_ ft

\$ \_\_\_\_\_

Setback to Bluff \_\_\_\_\_ Type of road \_\_\_\_\_

Setback to Wetland \_\_\_\_\_ Is wetland protected ☐ Yes ☐ No

Setback to OHW (straight horizontal distance) \_\_\_\_\_ Elevation above OHW (Straight vertical distance) \_\_\_\_\_

Setback to septic tank \_\_\_\_\_ Setback to drainfield \_\_\_\_\_

Roof Change ☐ Yes ☐ No Maximum height proposed \_\_\_\_\_ # of Stories \_\_\_\_\_

Bathroom proposed ☐ Yes ☐ No Sleeping Quarters proposed ☐ Yes ☐ No

\*Garages and storage sheds cannot contain amenities for independent human habitation

**Characteristics of Proposed Water Oriented Structure\***

Cost of Project \$ \_\_\_\_\_

☐ Stairway ☐ Deck ☐ Boathouse ☐ Screen Porch ☐ Gazebo ☐ Storage Structure

Outside Dimension \_\_\_\_\_ ft by \_\_\_\_\_ ft Sq ft \_\_\_\_\_

Setback to Lot Line \_\_\_\_\_ ft & \_\_\_\_\_ ft Setback to Bluff \_\_\_\_\_

Setback to OHW (straight horizontal distance) \_\_\_\_\_ Elevation above OHW (Straight vertical distance) \_\_\_\_\_

Setback to septic tank \_\_\_\_\_ Setback to drainfield \_\_\_\_\_

Maximum height proposed \_\_\_\_\_ \*Sleeping facilities or water supplies are not permitted in these structures

THIS IS A SITE PERMIT ONLY AND DOES NOT CONSTITUTE A BUILDING PERMIT  
AS SET FORTH IN MN STATE STATUTES.

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge. I also understand that, once issued, a permit is valid for a period of one (1) year from the date of issuance. If my property is located within the shoreland district, I understand that it is my responsibility to inform the Planning & Zoning Office once the building footings have been constructed. A Site Permit may be revoked at any time upon violation of said Ordinances and approved setbacks. Any changes to this site permit results in nullification of this permit and a new permit will have to be obtained.

Project must be staked out on the lot prior to approval of permit. Project will be staked by (date) \_\_\_\_\_.

IRB

Signature

6-27-16

Date



# COUNTY OF BECKER

## *Planning and Zoning*

915 Lake Ave, Detroit Lakes, MN 56501

Phone: 218-846-7314 ~ Fax: 218-846-7266

---

### PLANNING COMMISSION NOTICE OF PUBLIC HEARING

**\*\*HEARING DATE AND LOCATION\*\***

August 08, 2016 @7:00 PM

**3<sup>rd</sup> Floor Jury Assembly Room New Addition-Becker County Courthouse**  
Detroit Lakes, MN. 56502

**APPLICANT:**

Justin Aschnewitz

39600 State Highway 87

Frazee, MN 56544

Project Location: 39600 State Highway 87 AND 40545 State Hwy 87

**APPLICATION AND DESCRIPTION OF PROJECT:**

Request an After the Fact Conditional Use Permit for sawmilling of logs, building of pallets, sale of firewood and processing of firewood in an Agricultural Zone. **\*\*This constitutes Industrial use of land or buildings for production, manufacturing, warehousing, storage and transfer of goods. Includes retail sales of manufactured or warehoused products.**

**LEGAL LAND DESCRIPTION:** 290146000 and 290149001

Silver Leaf Township

290146000 PT W1/2 OF NE1/4, BEG 1634.54' W OF E QTR 23-138-39 AND 29.0149.001 WEST 500' OF NORTH 1375.50' OF SE1/4 AKA TRACT A 24-138-039, Section 23, TWP 138, Range 39 and Section 24, TWP 138, Range 39.

**REFER TO BECKER COUNTY ZONING ORDINANCE**

**Replies/Comments:** Interested parties are invited to submit to the Becker County Department of Planning, Zoning, and Land Use, written facts, arguments or objectives before the scheduled date of the Hearing. These statements should bear upon the suitability of the location and the adequacy of the Project and should suggest any appropriate changes believed to be desirable. Replies may be addressed to:

**PLANNING AND ZONING DEPARTMENT**

915 Lake Avenue

Detroit Lakes, MN. 56501

**FAX Number: 218-846-7266**

**email: [zoning@co.becker.mn.us](mailto:zoning@co.becker.mn.us)**

If you have questions about the Project, feel free to call 218-846-7314.

**Jurisdiction:** This Project comes under the Regulatory Jurisdiction of the Becker County Zoning Laws.

**Regulatory Authority:** This Application will be reviewed according to the provisions of the Becker County Zoning Ordinance. The decision whether to issue a Permit will be based on an evaluation of the probable impact including cumulative impacts, of the proposed activity. That decision will reflect the concern for both protection and utilization of important resources. All factors which may be relevant to the proposal will be considered including the cumulative effects: Land Use, Shoreline Protection, Water Supply and Conservation, Safety, Economics, in General, the Needs and Welfare of the People.

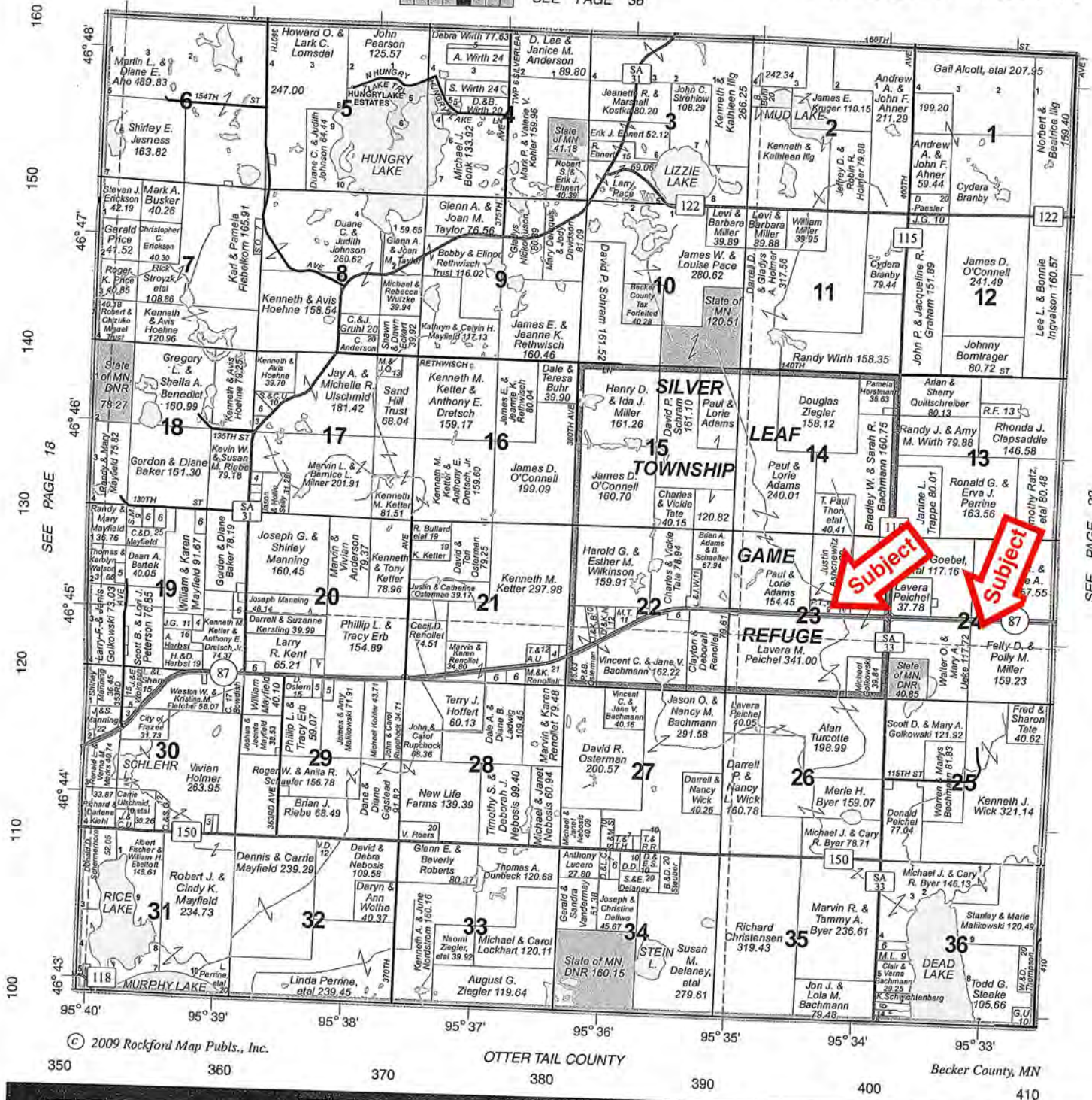
**\*\* Weather conditions may change the Hearing date and time. If bad weather occurs, please listen to the local Detroit Lakes Radio Stations or contact the Zoning Office, by 4:30 pm, for possible rescheduling of the Hearing.**



# SILVER LEAF

SEE PAGE 36

T.138N.-R.39W.



21 MAIN ST NE  
PO BOX 250  
MENAHA, MN 56464

PHONE: 218-564-4171  
FAX: 218-564-5125



**FIRST NATIONAL BANK OF  
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115 MINNESOTA AVE W  
PO BOX 311  
SEBEKA, MN 56477

PHONE: 218-837-5171  
FAX: 218-837-5094





~ CONDITIONAL USE APPLICATION ~

BECKER COUNTY PLANNING & ZONING

915 LAKE AVENUE, DETROIT LAKES, MN 56501  
PHONE (218) 846-7314 - FAX (218) 846-7266

PARCEL	
APP	CUP
YEAR	
SCANNED	

PROPERTY OWNER INFORMATION (as it appears on tax statement, purchase agreement or deed)

First name(s): Justin Last name: Aschnewitz

Mailing Address: 39600 State Highway 87 City, State, Zip Frazee MN 56544  
39600 State Hwy 87

Phone Number(s): 218-849-6970 Project Address: AND 40545 State Hwy 87

Parcel number(s) of property: 290146000 290149001 Sect - Twp - Range: 23 138 039  
24 138 039

Township Name: Silverleaf Legal Description: PT W 1/2 of NE 1/4, Brg 1634.54' W of E  
QTR COR SEC 23; TH W AL S LN NE 1/4 999.83' to W LN W 1/2 N 1/4, TH N AL W LN 471.8

TH E 832.56' TH SE 236.71', TH S 297.39' to POB, less Hwy  
24-138-039 WEST 500' of NORTH 1375.50 of SE 1/4 AKA Tract A

REASON FOR CONDITIONAL USE REQUEST: Sawmilling of logs, building  
of Pallets, Sale of Firewood, Processing of Firewood.

The information provided for this document is truthful and accurate to the best of my knowledge. I understand that this statement is null and void if any of the above information is not supplied or is inaccurate.

[Signature]  
SIGNATURE OF APPLICANT

7-14-16  
DATE

OTHER INFORMATION NEEDED TO COMPLETE THE APPLICATION:

1. A copy of the deed from the Recorder's Office;
2. Completed Site Application with sketch showing all setbacks, platted or surveyed dimensions of the lot and all existing and proposed buildings; parking area and all other materials deemed necessary.
3. Non-refundable filing fee of \$326.00. If in Cormorant Township add \$25.00 surcharge to the filing fee (\$351.00). **Make check payable to Becker County Zoning.**

4. Is the conditional use permit request after the fact? [ ] Yes [ ] No

*If yes, after the fact application fee is an additional \$600.00.*

Office Use Only

This application is hereby (accepted) or (rejected) as presented.

[Signature]  
SIGNATURE - ZONING ADMINISTRATOR

7/18/16  
DATE

PARCEL	
APP	CUP
YEAR	

## BUSINESS PLAN

Name of Business: 32 Hawling LLC

Owners of Business: Justin Aschnewitz

Type of Business:      Retail Sales      Service      Other

Type of Merchandise: Pallets, Firewood

Type of Service: assembling pallets, processing Firewood

Hours of Operation: 8 am to 8 pm

Number of Employees: up to 2

Off - street Parking Plan: none

Size of Structure to be used for Business: 32 x 128 + 28 x 28

New Structure: 28 x 28      Existing Structure: 32 x 128

Signage Plan: \_\_\_\_\_

Exterior Lighting Plan: \_\_\_\_\_

Environmental Hazards: \_\_\_\_\_

Other Comments: Business on 29.0146.000 would like to eventually  
move business to 29.0149.001. Minimal traffic twice a  
week - broker from <sup>minnesota</sup> mpls. pickup pallets & takes off site.  
Lumber sawed elsewhere - brought onto property?  
pallets assembled &

29.0146.000 = 10.40 ACRES

29.0149.001 = 15.00 ACRES





**Application for Site Permit**  
**Becker County Planning and Zoning**  
**915 Lake Ave, Detroit Lakes, MN 56501**  
**Phone: 218-846-7314 Fax: 218-846-7266**  
[www.co.becker.mn.us](http://www.co.becker.mn.us)

PARCEL	
APP	SITE
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SCANNED	

Project must be staked out on the lot prior to permit being approved

Please Print or Type All Information

Parcel Number (s) \_\_\_\_\_ Property (E911) Address \_\_\_\_\_ \*\*911 Address Needed \_\_\_\_\_ Legal Description \_\_\_\_\_

290146000 39600 State Highway 87

Lake/River Name \_\_\_\_\_ Lake/River Class \_\_\_\_\_ Township Name \_\_\_\_\_ Section \_\_\_\_\_ TWP No. \_\_\_\_\_ Range \_\_\_\_\_

Silverleaf 23 138 039

Property Owner Last Name First Name Mailing Address \_\_\_\_\_ Phone \_\_\_\_\_

Aschmewitz Justin 39600 State Highway 87

Contractor Name Lic # \_\_\_\_\_

Frazee MN 56544

218-849-6970

**Proposed Project (Check those that apply)**

☐ New Dwelling ☒ Addition to Dwelling ☐ Replacement Dwelling\* ☐ Mobile/Manfac. Home  
☐ Attached Garage ☐ Detached Garage ☐ Storage Structure ☒ Addition to Non-dwelling  
☐ Stairway ☐ Deck ☐ Recreational Unit ☐ Water Oriented Structure  
☐ Fence ☐ Other \_\_\_\_\_ ☐ Non Conforming Replacement (identify) \_\_\_\_\_

\*Existing Dwelling to be removed prior to \_\_\_\_\_

**Onsite Water Supply** ( ☒ ) Deep Well ( ☐ ) Shallow Well Well Depth 248

MN Rules Chapter 4725 (MN well code) requires a 3' minimum structure setback to well

**Onsite Sewage Treatment System**

Type of System \_\_\_\_\_ Date of Installation \_\_\_\_\_ Last Date Certified \_\_\_\_\_

Must have current certificate of compliance on septic system prior to issuance of a permit

**Lot Information** Shoreland ☐ ( ☐ ) Riparian ( ☐ ) Non Riparian Non Shoreland ☒

Lot Area \_\_\_\_\_ sq ft or 10.4 acres Water Frontage \_\_\_\_\_ ft Bluff ( ☐ ) Yes ( ☐ ) No

Impervious coverage refers to anything water cannot pass through. Structures, areas covered by a roof, concrete, asphalt, Class 5, sidewalks, patio pavers, etc. should all be included in this calculation. Decks should be included in this calculation if they have plastic underlayment or impervious surface underneath. Anytime you exceed 15% lot coverage a stormwater management plan and/or mitigation is required. **INCLUDE PROPOSED STRUCTURES IN CALCULATION.**

*Please Note: Unless otherwise provided, a minimum of a 12 foot wide driveway from the nearest road right of way to the proposed structure must be included in both your plan and impervious surface calculation.*

<b>Impervious Surface</b>	<b>Dimensions</b>	<b>Sq. Footage</b>	<b>Impervious Surface</b>	<b>Dimensions</b>	<b>Sq. Footage</b>
<b>On property</b>			<b>On property</b>		

Ex: Patio 10 x 12 120

DRIVEWAY

**Total Impervious Material**

Impervious Lot Coverage \_\_\_\_\_ ÷ Total Impervious \_\_\_\_\_ = \_\_\_\_\_ x 100 = \_\_\_\_\_ %  
Lot Area \_\_\_\_\_ Impervious Coverage Percentage

**Topographical Alteration/Earth moving**

( ☐ ) None ( ☐ ) 10 cubic yards or less ( ☒ ) 11- 50 cubic yards ( ☐ ) over 50 cubic yards

Project over 50 cubic yards a storm water management plan must be included with permit application.



Characteristics of Proposed Dwelling/Dwelling Additions/Attached Garage/Decks		Cost of Project
( ) Dwelling ____ ft by ____ ft ( ) Attached Garage ____ ft x ____ ft		\$ _____
Outside Dimension ( ) Deck/Patio ____ ft x ____ ft ( ) Addition to existing ____ ft x ____ ft		
Setback to Side Lot Line ____ ft & Rear Lot Line ____ ft	Setback to Road Right of Way ____ ft	
Setback to Bluff _____	Type of road _____	
Setback to Wetland _____	Is wetland protected ( ) Yes ( ) No	
Setback to OHW (straight horizontal distance) _____	Elevation above OHW (Straight vertical distance) _____	
Setback to septic tank _____	Setback to drainfield _____	
Total No. Bedrooms _____	Maximum height proposed _____ # of Stories _____	
Roof Change ( ) Yes ( ) No	Basement ( ) Yes ( ) No Walkout Basement ( ) Yes ( ) No	

Characteristics of Proposed Non Dwelling/Non Dwelling Additions/Detached Garages/Storage Sheds		Cost of Project
( ) Garage ____ ft by ____ ft ( ) Storage Shed ____ ft x ____ ft ( ) Fence ____ ft long x ____ high ( ) other ____ ft x ____ ft		
Outside Dimension (X) Addition to existing structure <u>EXISTING</u> <u>32</u> ft x <u>48</u> ft ( ) Fence ____ ft x ____ ft		
+ PROPOSED - <u>28</u> x <u>28</u>		
Setback to Lot Line <u>50</u> ft & Rear Lot Line <u>20</u> ft	Setback to Road Right of Way <u>300'</u> ft	\$ _____
Setback to Bluff _____	Type of road _____	
Setback to Wetland _____	Is wetland protected ( ) Yes ( ) No	
Setback to OHW (straight horizontal distance) _____	Elevation above OHW (Straight vertical distance) _____	
Setback to septic tank _____	Setback to drainfield _____	
Roof Change ( ) Yes (X) No	Maximum height proposed <u>18</u> # of Stories _____	
Bathroom proposed ( ) Yes (X) No	Sleeping Quarters proposed ( ) Yes ( ) No	
<b>*Garages and storage sheds cannot contain amenities for independent human habitation</b>		

Characteristics of Proposed Water Oriented Structure*	Cost of Project \$
( ) Stairway ( ) Deck ( ) Boathouse ( ) Screen Porch ( ) Gazebo ( ) Storage Structure	_____
Outside Dimension ____ ft by ____ ft	Sq ft _____
Setback to Lot Line ____ ft & ____ ft	Setback to Bluff _____
Setback to OHW (straight horizontal distance) _____	Elevation above OHW (Straight vertical distance) _____
Setback to septic tank _____	Setback to drainfield _____
Maximum height proposed _____	
<b>*Sleeping facilities or water supplies are not permitted in these structures</b>	

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AS SET FORTH IN MN STATE STATUTES.

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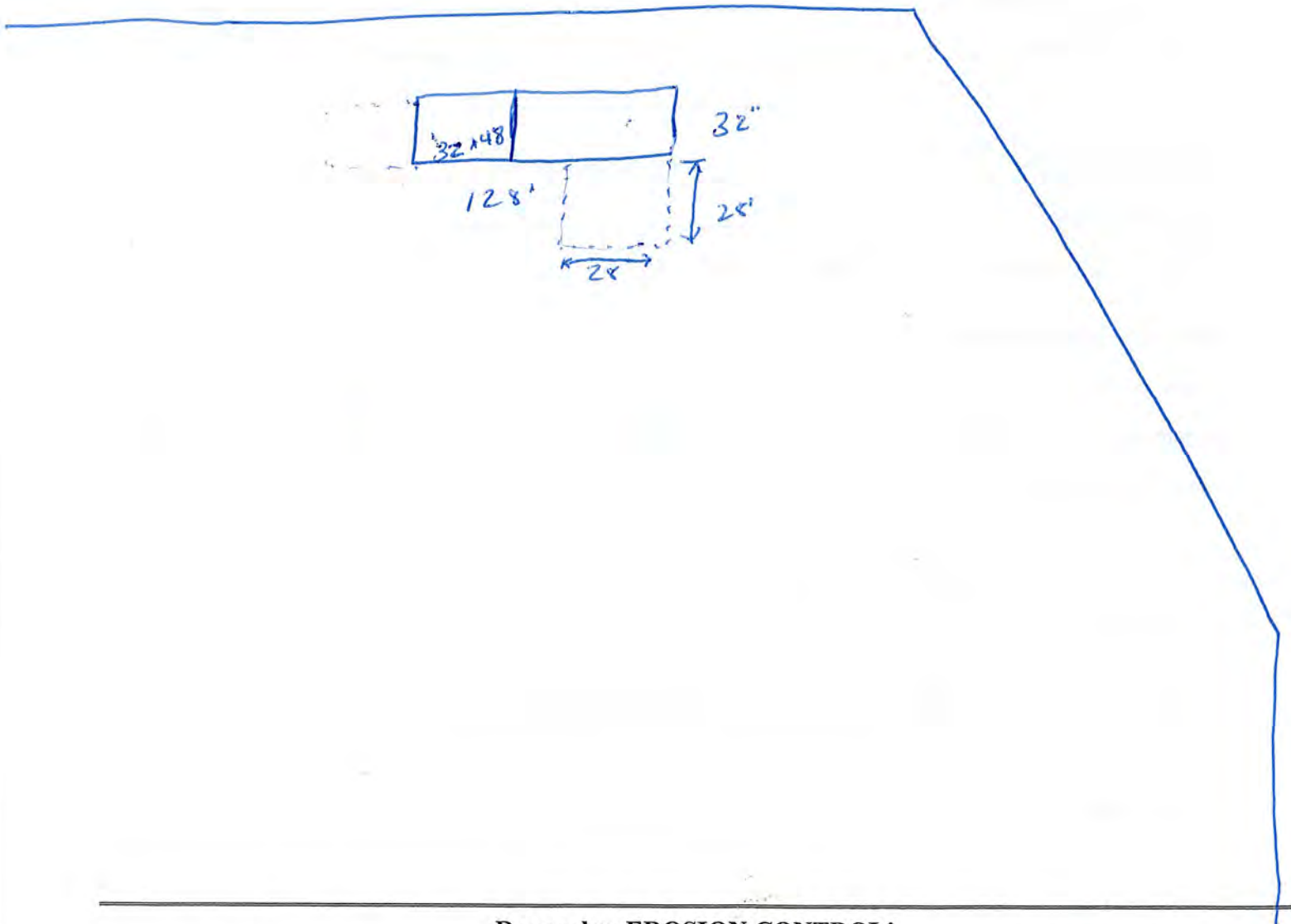
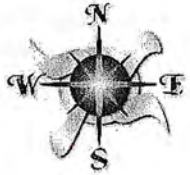
  
Signature

7-14-16  
Date

## SKETCH OF PROPERTY

1. Please sketch all impervious coverage on your property; include dimensions.
2. Sketch roadways adjacent to property - **Include driveway location.**
3. If you will be exceeding 15% impervious surface coverage, include a copy of your stormwater management plan. This applies to ANY lot that exceeds 15% coverage.
4. If proposed project is a detached garage/storage shed that *will exceed 1 story*, include detailed design.
5. Indicate where erosion control measures will be implemented and indicate storm water drainage pattern and how it will be maintained on the property.

PARCEL	
APP	SITE
YEAR	



**Remember EROSION CONTROL!**

Please use best management practices and/or silt fence to control erosion on all projects.





These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

## 29.0146.000 & 29.0149.001

Becker County



1:7,201

Date: 7/19/2016

This map is not a substitute for accurate field surveys or for locating actual property lines and any adjacent features.